

2. CORAL REEF DRIVE LAND DEVELOPMENT, LLC
F/K/A: IRWIN POTASH ET AL
(Applicant)

05-10-CZ14-1 (04-255)
BCC/District 8
Hearing Date: 1/26/06

Property Owner (if different from applicant) **Same**

Is there an option to purchase ☐ /lease ☐ the property predicated on the approval of the zoning request? Yes ☐ No ☒

Disclosure of interest form attached? Yes ☒ No ☐

Previous Zoning Hearings on the Property:

| <u>Year</u> | <u>Applicant</u> | <u>Request</u> | <u>Board</u> | <u>Decision</u> |
|--------------------|------------------------------|--|---------------------|------------------------|
| 1947 | E. H. Padgett & Zoning Dept. | Zone change from AU and EU-1 to EU-1B. | CC | Approved |
| 1951 | Zoning Dept. | Zone change from EU-1A to EU-1. | CC | Approved |
| 1960 | Kenneth Foster | Zone change from EU-1 to EU-M. | CC | Approved |

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**DEVELOPMENTAL IMPACT COMMITTEE
RECOMMENDATION TO THE BOARD OF COUNTY COMMISSIONERS**

APPLICANT: Coral Reef Drive Land Development, LLC
F/K/A Irwin Potash, et al

PH: 04-255

SECTION: 20/21-55-39

DATE: January 26, 2006

COMMISSION DISTRICT: 8

ITEM NO.: 2

A. INTRODUCTION

o **REQUESTS:**

- (1) AU, EU-1 & EU-M to PAD
- (2) Applicant is requesting to permit 1-way drives 12' in width (14' required).

Upon a demonstration that the applicable standards have been satisfied, approval of request #2 may be considered under §33-311(A)(4)(b) (Non-Use Variance) or (c) (Alternative Non-Use Variance).

Plans are on file and may be examined in the Zoning Department entitled "Palms of Coral Reef," as prepared by Sotolongo Architects, consisting of 20 sheets, dated, signed and sealed 7/15/05 and landscape plans as prepared by Witkin Design Group, consisting of 8 sheets, dated, signed and sealed 7/14/05. Plans may be modified at public hearing.

SUMMARY OF REQUESTS:

The applicant is requesting a zone change from AU, Agricultural District, EU-1, Single-Family One Acre Estate District, and EU-M, Estates Modified District, to PAD, Planned Area Development District, in order to develop an approximately 13.76-acre parcel of land with a single-family and townhouse residential development. The existing vacant property will accommodate 104 new dwelling units consisting of 87 townhouses and 17 single-family residences. In addition to the district boundary change, the applicant is seeking to permit one-way drives 12' in width (14' required).

- o **LOCATION:** The subject property is located north of SW 152 Street and lying east and west of theoretical SW 97 Avenue, Miami-Dade County, Fl.
- o **SIZE:** 13.76 gross acres
- o **IMPACT:**

The proposed rezoning would allow the applicant to provide additional housing in the area, however, said uses would bring additional traffic and activity to the surrounding community and would impact public services.

B. ZONING HEARINGS HISTORY: None.

C. NEIGHBORHOOD CHARACTERISTICS:

| <u>SUBJECT PROPERTY</u> | <u>EXISTING ZONING</u> | <u>EXISTING LAND USE PLAN DESIGNATION</u> |
|-----------------------------|--|--|
| | AU, EU-1 and EU-M; vacant parcels | Low Density Residential, 2.5 to 6 dua (Parcel A - 5.62 acres, west of SW 97 th Avenue) Office/Residential (Parcel B - 8.14 acres, east of SW 97 th Avenue) |
| <u>SURROUNDING PROPERTY</u> | | |
| <u>NORTH</u> | EU-M; single-family residences | Estate Density Residential, 1 to 2.5 dua |
| <u>SOUTH</u> | GU, AU and EU-1; vacant parcels and a golf course | Low Density Residential, 2.5 to 6 dua Parks and Recreation |
| <u>EAST</u> | EU-M and EU-1; canal, single-family residences and a vacant parcel | Low Density Residential, 2.5 to 6 dua Office/Residential |
| <u>WEST</u> | RU-1, AU and EU-1; adult congregate living facility and daycare/pre- school | Low Density Residential, 2.5 to 6 dua |

The subject property is located north of SW 152 Street and on both sides of theoretical SW 97 Avenue. The area southwest of SW 152 Street is predominately developed with single-family residences under the RU-1 zoning district regulations. To the southeast of same is a golf course. To the north is an estate single-family residential community and to the west is a vacant parcel and an adult congregate living facility. A daycare is located immediately to the south of the EU-1 zoned portion of the subject property and Jackson Memorial South Hospital lies one parcel removed to the east.

D. SITE AND BUILDINGS:

| | |
|------------------------------|------------|
| Scale/Utilization of Site: | Acceptable |
| Location of Buildings: | Acceptable |
| Compatibility: | Acceptable |
| Landscape Treatment: | Acceptable |
| Open Space: | Acceptable |
| Buffering: | Acceptable |
| Access: | Acceptable |
| Parking Layout/Circulation: | Acceptable |
| Visibility/Visual Screening: | Acceptable |
| Energy Considerations: | N/A |
| Roof Installations: | N/A |

| | |
|----------------|------------|
| Service Areas: | N/A |
| Signage: | N/A |
| Urban Design: | Acceptable |

E. PERTINENT REQUIREMENTS/STANDARDS:

Section 33-311(F) District Boundary Changes

In evaluating an application for a **district boundary change**, the Board shall take into consideration, among other factors the extent to which the development permitted by the application if granted:

- (1) Conform to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;
- (2) Will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;
- (3) Will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;
- (4) Will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;
- (5) Will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

Section 33-311 (A)(4)(b). Non-Use Variances From Other Than Airport Regulations: Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

Section 33-311(A)(4)(c) Alternative Non-Use Variance Standard. Upon appeal or direct application in specific cases to hear and grant applications from the terms of the zoning and subdivision regulations for non-use variances for setbacks, minimum lot area, frontage and depth, maximum lot coverage and maximum structure height, the Board (following a public hearing) may grant a non-use variance for these items, upon a showing by the applicant that the variance will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions thereof will result in unnecessary hardship, and so the spirit of the regulations shall be

observed and substantial justice done; provided, that the non-use variance will be in harmony with the general purpose and intent of the regulation, and that the same is the minimum non-use variance that will permit the reasonable use of the premises; and further provided, no non-use variance from any airport zoning regulation shall be granted under this subsection.

Section 33-314 of the Code of Miami-Dade County:

(C) The County Commission shall have jurisdiction to directly hear other applications as follows:

- (12) Hear application for and, upon recommendation of the Developmental Impact Committee, grant or deny those special exceptions for public charter school facilities permitted by the regulations only upon approval after public hearing, provided the applied for special exception, in the opinion of the Board of County Commissioners, is found to be in compliance with the standards contained in Article XI and Section 33-311 (A)(3) of this code.

F. NEIGHBORHOOD SERVICES:

| | |
|---------------------|-----------------|
| DERM | No objection |
| Public Works | No objection |
| Parks | No objection |
| MDTA | No objection |
| Fire Rescue | No objection |
| Police | No objection |
| Schools | See Exhibit 'A' |
| Planning and Zoning | No objection |

G. RECOMMENDATION:

Approval of the district boundary change to PAD subject to the Board's acceptance of the proffered covenant. Said approval does not include the construction of a two-lane bridge for the extension of SW 97 Avenue across Canal C-100 as recommended by the Public Works Department. The proffered covenant provides that development of the subject site be substantially in accordance with the submitted site plan; that the maximum number of dwelling units on the property be 104; and that development of the property is projected to commence within 4 months of the approval of the plat. Said agreement also provides additional quantitative data regarding number of bedrooms, building coverage, open space, residential density, nonresidential construction, private roads and private areas, and population projection.

Approval with conditions of request #2.

The Executive Council is of the opinion that the proposed zone change will be in keeping with the Comprehensive Development Master Plan (CDMP) Low Density Residential and Office/Residential designations for the subject parcel. When taking into consideration the reasonableness of the applied for rezoning in relation to the present and future development of the area, the Executive Council finds that the zone change request will permit a residential development which is consistent with the CDMP, and will not be contrary to the public interest. The Council also finds that the proposed development will also be compatible with the development trend in the surrounding area.

PROJECT DESCRIPTION

Submitted plans depict an irregularly-shaped parcel bounded by a 130' wide canal (Canal C-100) lying all along the north and east sides of the subject property, SW 152 Street to the south, and a home for the aged and vacant parcels to the west. One entrance into the development is provided on theoretical SW 97 Avenue from SW 152 Street. Vehicles or pedestrians entering the site encounter 3 "greens" located in the central portion of the property on the east and west sides of a median fitted 80' wide SW 97 Avenue. Parcel A is located on the west side of SW 97 Avenue, and Parcel B is located on the east side. Parcel A will be developed with a total of 29 units consisting of 14 townhouse residences and 15 single-family detached residences proposed on the southern portion of Parcel A. Plans indicate a 15,300 sq. ft. village green perpendicular to SW 97 Avenue which acts as a buffer and a transitional green area between the townhouse building type residences and the detached single-family residences. An additional open area (5,931 sq. ft.) is located west of 4 proposed single-family residences planned to front the aforementioned 15,300 sq. ft. green. This open space also provides an added amenity for the residents. This parcel is accessible by three (3) two-way drives and one (1) one-way 12' wide drive into the detached single-family residences. Parcel B will consist of 73 townhouse residences and 2 single-family detached residences. In addition to having a village green (16,000 sq. ft.), this parcel also contains a recreational facility consisting of a pool and cabana fronting SW 97 Avenue, a tot lot immediately to the northeast (3,937 sq. ft.) and an additional village green area (7,820 sq. ft.) further to the northeast of the tot lot which separates the townhouse building type residences from the detached single-family residences. This parcel is accessible by four (4) separate two-way drive entrances. All of the required parking spaces for the townhouse style buildings will be located parallel to residences and at the rear of the units. Parking for the detached single-family residences is provided on each site utilizing garages. Additional parallel parking for residents and visitors is provided along the canal. Brick-paved walkways are located along the front of both the townhouse building types, detached single-family residences, the canal and along both sides of SW 97 Avenue. The pavers will be used to define the proposed system of pedestrian circulation and to enhance the aesthetics of the development. The townhouse building type residences are 44' high and consist of two and three story units, incorporating a modified Mediterranean style. The two-story townhouse units (3 bedroom/1 car garage) are placed at the ends of the block and the three-story units (4 bedroom/2 car garage) are placed in between. The townhomes incorporate front porches and balconies. The detached single-family residences are 30' high and do not exceed 2 stories (4 or 5 bedrooms and 2 car garages). Four foot high hedges are proposed along lot lines to provide privacy between units. Landscaping in the form of trees, palms and shrubs will be provided throughout the site, with planting emphasis placed where the site adjoins SW 152 Street in order to help buffer the development from the impact generated by the noise of traffic from said right-of-way.

COMMENTS AND MAJOR CONCERNS

Section 33-303.1(D)(7) of the Code of Miami-Dade County charges the Developmental Impact Committee (DIC) to address applications with respect to: (I) conformance with all applicable plans; (II) environmental impact; (III) impact on the economy; (IV) impact on essential services; and (V) impact on public transportation facilities and accessibility. This application is before the Developmental Impact Committee because the proposed project is a planned area development per section 33-303.1(D)(7)(a)7 of the Miami-Dade County Code.

The following comments address these specific charges with regard to the subject application:

I. CONFORMANCE WITH ALL APPLICABLE PLANS

A. APPLICABLE PROVISIONS OF THE COMPREHENSIVE DEVELOPMENT MASTER PLAN

Land Use Objective 5

Upon the adoption of this plan, all public and private activities regarding the use, development and redevelopment of land and the provision of urban services and infrastructure shall be consistent with the goal, objectives and policies of this Element, with the adopted Population Estimates and Projections, and with the future uses provided by the adopted Land Use Plan (LUP) map and accompanying text titled "Interpretation of the Land Use Plan Map", as balanced with the Goals, Objectives and Policies of all Elements of the Comprehensive Plan.

Land Use Element Goal

Provide the best possible distribution of land use and services to meet the physical, social, cultural, and economic needs of the present and future populations in a timely and efficient manner that will maintain or improve the quality of the natural and man-made environment and amenities, and preserve Miami-Dade County's unique agricultural lands.

Land Use Policy 5B

All development orders authorizing a new land use or development, or redevelopment, or significant expansion of an existing use shall be contingent upon an affirmative finding that the development or use conforms to, and is consistent with the goals, objectives and policies of the CDMP including the adopted LUP map and accompanying "Interpretation of the Land Use Plan Map". The Director of the Department of Planning and Zoning shall be the principal administrative interpreter of the CDMP.

Land Use Policy 2A

All development orders authorizing new, or significant expansion of existing, urban land uses shall be contingent upon the provision of services at or above the Level of Service (LOS) standards specified in the Capital Improvements Element (CIE).

Land Use Policy 9M

Miami-Dade County shall develop an urban design manual establishing design guidelines. This manual shall provide additional criteria for use in review of all new residential, commercial and industrial development in unincorporated Miami-Dade County.

The Adopted 2005 and 2015 Land Use Plan designates the subject property as being within the Urban Development Boundary for **Low Density Residential**.

Low Density Residential

The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. This density category is generally characterized by single-family housing, e.g., single-family detached, cluster, zero-lot-line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.

Office/Residential

Residential uses are also allowed in the Office/Residential category. In these locations, residential density may be approved up to one density category higher than that allowed in the adjoining or adjacent residentially designated area on the same side of the abutting principal roadway, or up to the density of existing adjoining or adjacent residential development, or zoning if the adjacent or adjoining land is undeveloped whichever is higher. If there is no adjacent or adjoining residential development existing, zoned or designated on the same side of the abutting principal roadway, then the allowable maximum residential density shall be based on that which exists or which the plan allows across the roadway. Where there is no residential use, zoning or designation on either side of the roadway, the intensity of residential development, including height, bulk and floor area ratio shall be no greater than that which would be permitted for an exclusively office use of the site. When residential uses are mixed with office uses, the overall scale and intensity, including height and floor area ratio of the mixed-use development shall be no greater than that which would be approved if the parcel was developed in either office use only or residential use only, whichever is higher. Within the Office/Residential category, business uses ancillary and to serve the on-site use(s) may be integrated in an amount not to exceed 15 percent of the total floor area. However, the Office/Residential category does not authorize other business or commercial uses.

DEPARTMENT OF PLANNING AND ZONING DIRECTOR'S EVALUATION

The applicant, Irwin Potash, et al, is requesting a zone change from AU, Agricultural District, EU-1, Single-Family One Acre Estate District, and EU-M, Estate Modified Residential District, to PAD, Planned Area Development District, on a 13.76-acre vacant parcel located on the north side of S.W. 152 Street and on both sides of S.W. 97 Avenue. The proposed Planned Area Development will consist of 104 residential units made up 2-story single-family residences and 3-story townhouse building types. In conjunction with the district boundary change, the applicant is seeking to permit one-way drives 12' in width where 14' is required. Single-family estate residences exist to the north, across Canal C-100. To the south, there is a vacant parcel, a daycare/preschool, estate single-family residences and a golf course; an adult congregate living facility is located to the west; and a hospital lies to the east.

The Department of Environmental Resources Management (DERM) offers **no objections** to this application and has indicated that it meets the minimum requirements as set forth in Chapter 24 of the Code of Miami-Dade County. Since public water and public sanitary sewers can be made available to this property, DERM will require that the applicant connect to the water supply and the public sanitary sewer system. Any work within the canal or its right-of-way requires approval by the South Florida Water Management District (SFWMD). The **Police Department** offers **no objections** to this application and indicates in their memorandum for this hearing that police services are currently provided by the Kendall District (Police District 5). Based upon a district wide statistical analysis, the average emergency response time is 4.2 minutes (includes dispatch time and travel). The **Public Works Department** does not object to this application as it pertains to the development of the property in accordance with the submitted site plan, and states in their memorandum for this hearing that the land must be platted and that all Section and half Section line roads shall include all elements indicated in the Public Works Department's standard details. This application meets the criteria for traffic concurrency for an Initial Development Order. No vehicle trips have been reserved by this application and it will be subject to the payment of road impact fees. In addition, the Public Works Department will require that the developer extend SW 97 Avenue across Canal C-100. The **Miami-Dade Water and Sewer Department** does not object to this application and indicates in their memorandum for this hearing that the applicant must connect to an existing

16-in. w.m. stub-out located at SW 152 St. and the SW corner of the property, and extend a 16-in. same to the SE corner of the property. Any public w.m. extension within the property shall be 8-in. in diameter with 2 points of connection and the system shall be looped, in order to avoid dead end mains. Further sewer connections must be made available. A public sewage station is required which must be connected to an existing 12-in. F.M. located at SW 152 St. E/O SW 102 Ave. The **Fire Department** offers **no objections** to this application and indicates in their memorandum that this project is expected to generate approximately 33 fire and rescue calls annually. The desired travel time to such a project is 5 minutes for the first-in unit. However, response times range between 4 and 10 minutes depending on the station's distance from the proposal. Fire Water and Engineering has reviewed and approved the submitted plan; but any substantial changes to this plan must be reviewed by Fire Water and Engineering. The Department of **Solid Waste Management (DSWM)** **does not object** to this project as well. This project falls within the DSWM solid waste collection service area. Residences proposed for inclusion in this project meet the County Code definition of residential unit. Per the Code, residential units located within the project shall, therefore, receive DSWM garbage and trash collection service. Twice weekly individual curbside garbage and trash collection, scheduled bulky waste collections service, and unlimited use of the Trash and Recycling Centers are the services currently provided to residential units in the DSWM solid waste collection service area. Currently, DSWM provides curbside recycling services to residential units located in the unincorporated area of Miami-Dade County. The **Parks and Recreation Department** **does not object** to this application and has accepted the submitted site plan indicating 2 open space areas (labeled Village Green), a tot lot area, and a pool for use by the residents of this development. **Miami-Dade County Public Schools (MDCPS)** has indicated that the proposed zoning will bring an additional 36 students into the area's public schools. They indicate that Colonial Drive Elementary, Richmond Heights Middle, and Miami Killian Senior High as the schools that will be impacted by this development, which are currently operating at 74%, 113% and 158% respectively of FISH (Florida Inventory of School Houses) utilization. Their memorandum indicates that the applicant has voluntarily proffered a monetary donation, over and above impact fees. The payment will provide the full capital cost of student stations for the additional students generated by the proposed development. The proffered monetary donation is subject to the School Board's approval.

The Comprehensive Development Master Plan (CDMP) designates Parcel A (5.62 acres, west of SW 97th Avenue) as Low Density Residential and Parcel B (8.14 acres, east of SW 97th Avenue) as Office/Residential. The Low Density Residential category authorizes densities from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre, for a maximum of 33 units on Parcel A. The applicant is proposing a total of 29 single-family residential units for Parcel A. The Office/Residential category allows residential density up to one density category higher than that allowed in the adjoining or adjacent residentially designated area on the same side of the abutting principal roadway, or up to the density of existing adjoining or adjacent residential development, or zoning if the adjacent or adjoining land is undeveloped whichever is higher. Since the adjacent LUP map category is low density residential one density category higher than that allowed in the adjacent residential area would be the Low Medium Density Residential category, which allows a density at a minimum of 6 to a maximum of 13 units per acre, for a total of 105 units on Parcel B. The submitted plans propose 75 units on said parcel. The CDMP permits a total of 138 units on the subject property (Parcels A and B). As such, the Planned Area Development District, with the proposed density of 104 units is **consistent** with the maximum numerical threshold permitted by the Land Use Plan map. Staff is of the opinion that the proposed development consisting of 2-story single-family residences and the 3-story townhouse type buildings is **compatible** with surrounding development. The proposed single-family residences will be located across from estate single-family residences on the north side of the canal.

When considering district boundary changes the Board shall hear and grant or deny applications by taking into consideration if the proposed development will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts, the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment, and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development. The Board shall consider if the development will have a favorable or unfavorable impact on the economy of Miami-Dade County, if it will efficiently or unduly burden water, sewer, solid waste disposal, recreation, education, public transportation facilities which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways. The applicant is seeking approval for a district boundary change from AU, Agricultural District, EU-1, Estate Single-Family Residential District, and EU-M, Estate Modified Residential District, to PAD, Planned Area Development District, incorporating a mixture of detached single-family residences and townhouse building types within a well-designed community having a number of recreational amenities and green areas. The approval of this application would help to address the housing needs in this area of Miami-Dade County by promoting the redevelopment of a vacant site, all in accordance with the County's adopted Urban Design Manual. Proposed building types are designed with well-articulated facades using plentiful fenestration and Mediterranean architectural motifs. Parking is relegated to the rear of buildings or is completely camouflaged from streets or the surrounding community view by the proposed residential development. The proposed development is easily accessible from SW 152 Street. Architecture and landscape architectural elements are used to create a project that is compatible with its surroundings and visually impact, in a positive manner, the SW 152 Street section line road. The applicant has proffered a covenant tying the development of the site to the plans submitted and limiting the density of the site to the proposed 104 units. In addition, the covenant provides a development schedule and quantitative data for the proposed PAD as required by Section 33-284.26(B)(1) of the Zoning Code. As such, staff recommends approval of request #1 subject to the Board's acceptance of the proffered covenant.

When request #2 is analyzed under Section 33-311(A)(4)(b), the Non-Use Variance Standards, staff is of the opinion that to permit one-way drives 12' in width, where 14' is required, will not detrimentally impact the project. Only local traffic reaching residential units will utilize the proposed network of 12' wide drives. Most of the traffic will utilize the proposed 2-way drive network on all parcels which can be used to reach all areas of the site, residences, green areas and amenities. Further, the proposed 12' wide drives only occur at the rear of 9 single-family residences and 4 townhouse-type building blocks. The majority of the units will be accessible by 2-way drives from the rear.

When analyzed under the Alternative Non-Use (ANUV) Standard Section 33-311 (A)(4)(c), the applicant would have to prove that request #2 is due to an unnecessary hardship and that, should said request not be granted, such denial would not permit the reasonable use of the premises. However, since this property can be developed under the RU-1 zoning standards, staff is of the opinion that request #2 cannot be approved under the alternative non-use variance standard.

RECOMMENDATION: Approval of the district boundary change to PAD, subject to the Board's acceptance of the proffered covenant; approval with conditions of request #2 under Section 33-311(A)(4)(b)(NUV), and denial without prejudice of request #2 under Section 33-311 (A)(4)(c)(ANUV).

B. MULTI-YEAR CAPITAL IMPROVEMENTS PROGRAM

The General Services Administration Department has reviewed this application with respect to its compatibility with the County's current Capital Budget and Multi-Year Capital Plan. This plan is prepared pursuant to state growth management legislation and the Miami-Dade County code. This application does not conflict with the current plan.

II. ENVIRONMENTAL IMPACT

A. STORMWATER MANAGEMENT

The adjacent canal, C-100 Canal, is owned by the SFWMD and approval from the SFWMD will be required for any work within the canal or its right-of-way. Positive drainage systems or direct discharge of stormwater runoff into the neighboring canal are not permitted. Therefore, DERM will require that a berm with a top elevation of one foot above flood criteria be placed along the canal, in order to prevent direct discharge of stormwater runoff into the canal. A Class II permit would be required for the construction of drainage system with an outfall into a canal.

All stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage structures. Drainage must be provided for the 5-year storm event with full on-site retention of the 25-year/3-day storm. Pollution Control devices shall be required at all drainage inlet structures.

A Surface Water Management General Permit from DERM shall be required for the construction and operation of the required surface water management system. This permit must be obtained prior to re-development of site, final plat and public works approval of paving and drainage plans. The applicant is advised to contact DERM in order to obtain additional information concerning permitting requirements.

Site grading and development shall comply with the requirements of Chapter 11C of the Code of Miami-Dade County.

Any proposed development shall comply with County and Federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the Level of Service standards for flood protection set forth in the Comprehensive Master Plan subject to compliance with the conditions required by DERM for this proposed development order.

B. WETLANDS

The subject site is not located in jurisdictional wetlands as defined in Sections 24-5 and 24-48 of the Code; therefore a Class IV Permit for work in wetlands will not be required by DERM.

Notwithstanding the above, permits from the Army Corps of Engineers (USACOE), the State of Florida Department of Environmental Protection (FDEP) and the South Florida Water Management District (SFWMD) may be required for the proposed project.

C. TREE PRESERVATION

The subject property contains tree resources; Section 24-49 of the Code requires the preservation of tree resources. A Miami-Dade County tree removal permit is required prior to the removal or relocation of any trees. A tree survey showing all the tree resources on-site will be required prior to reviewing the tree removal permit application.

D. AIR QUALITY PRESERVATION

DERM staff has reviewed the available information, and does not anticipate that this project will adversely impact the local air quality. Fugitive dust emissions should be minimized during all construction phases. Any involved demolition will require an asbestos survey and any required asbestos abatement shall be done prior to demolition.

E. POLLUTION REMEDIATION

DERM shall has reviewed the available information and found that the subject property is not currently or historically permitted with DERM and there are no records of current or historical contamination assessment or remediation issues on the property or within 500 feet of the property.

F. ENFORCEMENT HISTORY

DERM has reviewed the Permits and Enforcement database and the Enforcement Case Tracking System and has found no open or closed formal enforcement records for the subject properties identified in the subject application.

Concurrency Review Summary:

The Department has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

In summary, the application meets the minimum requirements of Chapter 24 of the Code and therefore, it may be scheduled for public hearing; furthermore, this memorandum shall constitute DERM's written approval to that effect as required by the Code.

III. IMPACT ON THE ECONOMY

It is estimated that for 17 single-family residential units sold at \$550,000.00 per unit and for 87 townhouse units sold for \$325,000.00, the operating revenue and cost to Miami-Dade County and the School Board will be as follows:

| | County | School Board | Combined |
|-------------------|-----------------|-------------------|-----------------|
| Total Revenues | \$856,773. | \$493,343. | \$1,350,116. |
| Total Costs | <u>472,903.</u> | <u>\$265,679.</u> | <u>738,582.</u> |
| Net Fiscal Impact | \$ 383,870. | \$ 227,664. | \$611,534. |

The net fiscal impact of this proposal is estimated to provide a positive operating revenue to Miami-Dade County of \$383,870.00 and a net surplus of \$227,664.00 to the School Board, for a combined total for both jurisdictions of \$611,534.00.

IV. IMPACT ON ESSENTIAL GOVERNMENTAL SERVICES

A. POTABLE WATER SUPPLY

The subject property is located within the franchised water service area of the Miami-Dade Water & Sewer Department (MDWASD). Public water abuts the property in the form of a 36-inch distribution main. Connection of the proposed residential development to the public water supply system shall be required. The applicant shall connect to an existing sixteen (16)-in. w.m. stub-out in SW 152 St. and the SW corner of the property and extend a sixteen (16)-in. w.m. in SW 152 St. to the SE corner of the property. If there is access to an existing twelve (12)-in. w.m. located close to the NW corner of the property, the second point of connection shall be that existing twelve (12)-in. w.m. Any w.m. extension within the property shall be eight (8)-in. min. in diameter with two (2) points of connection and the system shall be looped in order to avoid dead end mains. The estimated demand for this project is 32,700 gallons per day (gpd), not including irrigation demands.

The source of water for these mains is MDWASD's Alexander Orr Water Treatment Plant, which has adequate capacity to meet projected demands from this project. The plant is presently producing water, which meets Federal, State and County drinking water standards.

Existing public water facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions stipulated by DERM for this proposed development order.

Notwithstanding that adequate system capacity is available for this project, DERM will require that water conserving plumbing fixtures be installed in accordance with the requirements of the South Florida Building Code in order to use more efficiently the southeast Florida water resources.

It is recommended that the landscaping conform to xeriscape concepts. Included in these concepts is use of drought tolerant plants, reduces use of turf grass together with efficient

irrigation system design. Details of xeriscape concepts are set forth in the "Xeriscape Plant Guide II" from the South Florida Water Management District.

B. SEWER SERVICE

The property is located within the MDWASD's franchised sewer service area. The closest public sanitary sewer is a 12-inch force main located approximately 900 feet west of the site along SW 152 Street. Connection of the proposed development to the public sanitary sewer system will be required. A public sewage pump station is required. Connect to an existing twelve (12)-in. F.M. in SW 152 St. E/O SW 102 Ave. Information on F.M. pressures, confirmation of the proposed point of connection and F.M. sizes in the public right of way will be provided at the time a request for connection is sent to the Department. The wastewater flow is directed to the South District Treatment Plant, which has a current capacity of 85 Million Gallons per Day (MGD), providing secondary treatment. Effluent disposal is by means of deep injection wells.

Existing public water and public sanitary sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction of the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternative means of sewage disposal. Use of an alternative means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

C. POLICE

The Department's goal is to provide timely and efficient police service to the citizens of Miami-Dade County, now, and in the future. The proposed facility location would be serviced by our Kendall District (Police District 5), located at 7707 SW 117 Avenue, Miami, Florida. The current staffing for the Kendall Station stands at approximately 165 sworn officers. Based upon statistical analysis, our average emergency response time is 4.2 minutes.

D. FIRE

1. Based on development information, this project is expected to generate approximately 33 fire and rescue calls annually.
2. A suspected fire within this project would be designated as a house dispatch assignment. Such an assignment requires two (2) suppressions or engines, telesquirts or tankers, one (1) rescue and an accompanying command vehicle. This assignment requires 12 firefighters and officers.

3. The desired travel time to such a project is five (5) minutes for the first-in unit.
4. Required fire flow for this project is 2,000 gpm with hydrant spacing no further than every 300 feet. Proper main extensions can be provided by Miami-Dade Water & Sewer Department. Generally, for this type of development 12-14 inch mains are required.

Existing Services

1. The stations responding to a fire alarm will be:

| <u>Station</u> | <u>Address</u> | <u>Equipment</u> | <u>Staff</u> | <u>Response Time</u> |
|----------------|--------------------------------|--|--------------|----------------------|
| 4 | 9201 SW 152 St., Coral Reef | Basic Life Support Engine Rescue | 8 | 4-5 min. |
| 50 | 9798 Hibiscus St., Perrine | Rescue Advanced Life Support Engine | 7 | 5-6 min. |
| 23 | 7825 SW 104 St., Kendall South | Basic Life Support 75' Aerial Rescue | 7 | 6-8min. |
| 34 | 10850 SW 211 St., Cutler Ridge | Advance Life Support Rescue Basic Life Support 50' Squirt | 7 | 8-10 min. |

2. The following first-response units/stations show a potential unavailability rate in excess of 20% during peak call hours for the previous calendar year:

| <u>Units/Stations</u> | <u>Potential Unavailability During Peak Hours</u> |
|-----------------------|---|
| Rescue 50 | 21.25% |
| Rescue 34 | 26.75% |

3. Increased response times may result because of congestion on the following roadways:

US 1, SW 152 St.

Site Requirements

Fire, Water & Engineering has reviewed and approved the proffered plan entitled 'Palms of Coral Reef,' as prepared by Sotolongo Architects, dated stamp approved July 12, 2005, and consisting of one sheet.

E. PARKS

Identify Impact and Demand

The 104 dwelling units (17 single family detached and 87 townhouse) will produce a population of 297 people, according to current population estimates prepared by the Research Division of the Planning Division of the Planning and Zoning Department. This population generates a need for 0.81 acres of local parkland, based on the CDMP Open Space Spatial Standards of 2.75 acres per 1,000 population.

Existing Service

The nearest community park is Colonial Drive Park, located at 10750 SW 156th Terrace, located approximately 2 miles from this development. The nearest neighborhood park is Rockdale Park, located at SW 146 Street and SW 93rd Avenue, approximately one half mile from this development. The nearest district park is West Kendall District Park, located at SW 120th Street and SW 157th Avenue, approximately 8 miles from this development.

Facilities

Colonial Drive Park has baseball/football fields, basketball courts, fitness course, parking lot, small recreation center, tennis courts, tot lot playground, and a water playground.

Rockdale Park is a passive open space park with no improvements.

West Kendall District Park is not yet constructed. It is planned to have a variety of recreational areas such as lighted ballfields and courts, walking paths, parking areas, and recreational buildings.

Concurrency/Capacity Status

This application is located in Park Benefit District 2, which has a surplus of 584.91 acres of local parkland.

Site Plan Critique & Quality of Life Issues

Because neighborhood parks are not close to this development and the canal is a barrier to easy access to Rockdale Park, it is good that the plan includes 2 open space areas (labeled, "Village Green"), a tot lot area, and a pool for use by residents of this development. The revised plan is acceptable.

F. SCHOOLS

Comments from Miami Dade Public Schools are provided in attached Exhibit "A".

G. SOLID WASTE MANAGEMENT

The County Solid Waste Management System consists of both County facilities and a private facility under contract as follows: two Class I landfills (one owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility and associated ash monofill, and three regional transfer facilities. The Department does not assess or adjust estimated capacity requirements based on the impacts of individual

developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 12, 2003, which is valid for three (3) years, shows sufficient disposal system capacity to meet and exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Department of Planning and Zoning is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

V. IMPACT ON TRANSPORTATION FACILITIES AND ACCESSIBILITY

A. ANTICIPATED TRAFFIC GENERATION AND CONCURRENCY

Trip Generation

77 PM Peak Hour trip ends

Cardinal Distribution

| | |
|--------------|-------------|
| North 33.0 % | East 16.0 % |
| South 27.0 % | West 24.0 % |

B. EXISTING ROADWAYS SERVICEABLE TO THIS APPLICATION

| | | |
|----------------|-----------------------------|-----------------------------|
| Location: | SW 152 nd Street | SW 107 th Avenue |
| Description: | | |
| No. of lanes: | 4 | 4 |
| Existing R/W: | 110' | 80' |
| Classification | Arterial | Arterial |
| Maintenance: | FDOT | MDC |

C. IMPACT ON EXISTING ROADWAYS

Concurrency

Station F-1106 located on SW 152 Street w/o US 1 has a maximum capacity of LOS "A" of 4890 vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of 2621 vehicles and 715 vehicles have been assigned to this section of road from previously approved Development Orders. Station F-1106 with its 3336 PHP and assigned vehicles is at LOS "A". The 37 vehicles generated by this development when combined with the 3336 equals 3373 and LOS "A" where the range of LOS "A" is from 1 to 3490 vehicles.

Station 9728 located on SW 107 Avenue s/o SW 150 Street has a maximum capacity of LOS "D" of 1240 vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of 746 vehicles and 163 vehicles have been assigned to this section of road from previously approved Development Orders. Station 9728 with its 909 PHP and assigned vehicles is at LOS "C". The 15 vehicles generated by this development when combined with the 909 equals 924 and LOS "C" where the range of LOS "C" is from 761 to 1090 vehicles.

Station F-56 located on SW 152 Street e/o SW 112 Avenue has a maximum capacity of LOS "EE" of 4660 vehicles during the PM Peak Hour. It has a current Peak Hour Period

(PHP) of 2482 vehicles and 561 vehicles have been assigned to this section of road from previously approved Development Orders. Station F-56 with its 3043 PHP and assigned vehicles is at LOS "B". The 25 vehicles generated by this development when combined with the 3043 equals 3068 and LOS "B" where the range of LOS "B" is from 1 to 3120 vehicles.

D. ADDITIONAL CONDITIONS/IMPROVEMENTS REQUIRED FOR THIS DEVELOPMENT

1. Land must be platted.
2. Provide guardrail topped with handrail, where sidewalk is provided along the road bordering Canal C-100. Provide guardrail only, where sidewalk is not provided.
3. Northbound left turn bay on SW 152nd Street shall be according to Public Works standards.
4. SW 97th Avenue shall continue North across Canal C-100 in order to maintain continuity on the Section line road. However, in order to determine if this request is feasible, a comprehensive traffic study needs to be performed and evaluated by the Public Works Department. Construct a two-lane bridge according to the South Florida Water Management and Miami-Dade County Public Works Standards. Impact fee credit may be obtained for the construction of said bridge, upon approval of the Public Works Director.
5. Construct Urban Driveway at all connections of private roads with public roads.
6. Provide continuous sidewalk access with appropriate crosswalks to the Village Green from all sections of the development.

E. SITE PLAN CRITIQUE

1. A Public Works permit is required for construction in the public right of way. Florida Department of Transportation permit is required for construction or connection to State right of way.
2. Public access must be provided that satisfies the needs for traffic circulation, Fire and Rescue vehicles.
3. Traffic signals, signs and markings within the development to be reviewed during permitting. PWD reserves the right to require the relocation or elimination of parking spaces that are found to be in conflict with these traffic control devices. Plans shall be reviewed at the Stephen P. Clark Center.
4. All landscaping, walls, fences, Entrance Features, etc. will be subject to the safe sight distance triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works Manual.
5. A property owners association or other mechanism or entity acceptable to the Public Works Director will be required for the maintenance of private drives, common areas, lakes, landscaping and walls/fences.
6. Entrance features are not reviewed or approved as part of this application.
7. Contribution for traffic signals may be required at time of Platting.

This application **meets** the criteria for traffic concurrency for an Initial Development Order. No vehicle trips have been reserved by this application. It will be subject to the payment of road Impact Fees.

F. MASS TRANSIT

Transit service is provided directly in front of the proposed site by Metrobus routes 272 (Sunset KAT), and 288 (Kendall KAT). In addition to these routes, five blocks to the west of the proposed site, is Route 204 (Killian KAT), and five blocks to the east, Routes 72, 88 and 104.

Their frequencies (in minutes) are as follows:

| Route | Peak | Off-Peak | Night | Sat | Sun/Holiday |
|----------------|------|----------|-------|-----|-------------|
| Rt. 1 | 20 | 30/40 | 60 | 40 | 60 |
| Rt. 52 | 30 | 30 | 60 | 30 | 30 |
| Rt. 57 | 30 | 0 | 0 | 0 | 0 |
| Coral Reef Max | 18 | 30 | 30 | 30 | 30 |
| Saga Bay Max | 25 | 0 | 0 | 0 | 0 |
| Busway Max | 25 | 30 | 0 | 0 | 0 |
| Busway Local | 15 | 30 | 30 | 30 | 30 |
| Busway Flier | 15 | 0 | 0 | 0 | 0 |

The 2025 Long Range Transportation Needs Plan does not identify any improvements for the area.

The 2004 Transit Development Program (TDP) identifies in its 2009 Recommended Service Plan (RSP) the following improvements:

Rt. 1: Improve Sunday headways from 60 to 30 minutes. Improve peak headways from 20 to 15 minutes. Improve off-peak and Saturday headways from 40 to 30 minutes (Yr. 2005). Extend service to Quail Roost Dr. and SW 137 Avenue (Yr. 2009).

Rt. 52: Improve peak period headways from 30 to 15 minutes (Yr. 2006). All night service, every 60 minutes, seven days a week. Serves the Dadeland South, South Miami and University stations (Yr. 2007).

Rt. 57: Extend route north of South Miami station to Miami International Airport along 57 Avenue (Yr. 2005). Improve peak headways from 30 to 15 minutes (Yr. 2007).

Coral Reef MAX: Improve peak headways from 18 to 15 minutes (Yr. 2005). Extend evening service to the SW 162 Avenue loop (Yr. 2009).

Saga Bay MAX: Improve peak headways from 24 to 15 minutes (Yr. 2007).

Busway MAX: Improve midday and evening headways from 30 to 15 minutes. Peak period headway will improve from 15 to 10 minutes (Yr. 2005). Re-align service along existing Busway and Busway extension to Florida City. Extend alignment to the Village of Homestead Community (Yr. 2009).

Busway Local: Extend service to Florida City/Homestead along the South Miami-Dade Busway Extension. Re-align route to service Goulds area. Improve peak headways from

15 to 10 minutes (Yr. 2005). Improve midday headways from 30 to 15 minutes. Improve weekend headways from 30 to 20 minutes (Yr.2007)

Florida City / Medley MAX: Introduce peak hour express service between Florida City / Homestead area to Medley. Provide 3 trips in the a.m. and 3 trips in the p.m. (2008).

Busway Express: New peak hour service from Key largo area, through Florida City to the Dadeland South Metrorail station via the Busway (2009).

Based on the information presented, MDT has no objection to this project. However, **provisions must be made by the developer for future/existing transit amenities such as pull-out bays, shelters, etc.** The specific location for the placement of these amenities should be coordinated with MDT's Service and Mobility Planning.

This project has been reviewed by MDT for mass transit concurrency and was found concurrent with the level-of-service standards established Miami-Dade County.

G. AVIATION

Miami-Dade Aviation department has determined that DIC Zoning application No. 04-255, Irwin Potash, is clear of any restrictive zones as depicted in all existing and proposed land use zoning ordinances for the Miami-Dade County system of airports and would be compatible with airport operations.

CONDITIONS:

1. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
2. That a recordable agreement be submitted to and meet with the approval of the Director providing for permanent and safe access for pedestrian and vehicular traffic within the development and particularly for right of access for fire, police, health, and sanitation and other public service personnel and vehicles. The agreement, which shall be a covenant running with the land, shall also include a stipulation that the streets, or access ways, shall be installed and maintained by the applicant, including, but not limited to, sidewalks, drainage facilities, water, sewers and fire hydrants, meeting with the approval of the Director and the Director of the Public Works Department. Such agreement shall be executed by the property owner and any and all parties having an interest in the land, such as mortgagees, etc., and its improvements.
3. That in the event of multiple ownership, a homeowner's association, Special Taxing District or Community Development District be established in accordance with applicable regulations to assure that all common area and facilities for use of all residents shall be maintained in a continuous and satisfactory manner, and without expense to the general taxpayer of Miami-Dade County. The instrument incorporating such provisions shall be approved by the County Attorney as to form and legal sufficiency and shall be recorded in the public records of Miami-Dade County at the time of recording of the subdivision plat.
4. That the applicant comply with all of the applicable conditions, requirements, recommendations, requests and other provisions of the various Departments as contained in the Departmental memoranda which are part of the record of this application and incorporated herein by reference, except for the bridge required by the Public Works Department across Canal C-100 for SW 97 Avenue.

DATE TYPED: 07/19/05
DATE REVISED: 08/19/05
DATE FINALIZED: 09/09/05

EXHIBIT 'A'

APPLICATION NO. Z04-255
CORAL REEF DRIVE LAND DEVELOPMENT, LLC F/K/A IRWIN POTASH,
ET AL

Respectfully Submitted,

DIC Executive Council
September 07, 2005

Bill Johnson
Assistant County Manager



AYE

Herminio Lorenzo, Fire Chief
Miami-Dade Fire Rescue Department

Absent

Irma San Roman, Deputy Director
Metropolitan Planning Organization Secretariat



AYE

Diane O'Quinn Williams, Director
Department of Planning and Zoning



AYE

Esther Calas, P.E., Director.
Public Works Department



AYE

Jose Gonzalez, P.E., Assistant Director
Department of Environmental Resources Mgmt



AYE

William Brant, Director
Miami-Dade Water and Sewer Department

Absent



Miami-Dade County Public Schools

giving our students the world

Superintendent of Schools
Rudolph F. Crew, Ed.D.

Ana Rijo-Conde, AICP, Facilities Planning Officer
Facilities Planning

Miami-Dade County School Board

Frank J. Bolaños, Chair
Dr. Robert B. Ingram, Vice Chair
Agustín J. Barrera
Evelyn Langille Grøer
Pera Tabares Hantman
Dr. Martin Karp
Ana Rivas Logan
Dr. Marta Pérez
Dr. Solomon C. Stinson

May 26, 2005

Ms. Maria Teresa-Fojo, Acting Supervisor
Miami-Dade County
Department of Planning and Zoning
Zoning Evaluation Section
111 NW 1 Street, Suite 1110
Miami, Florida 33128

Re: Irwin Potash, et al - Application No. 04-255 (GC12)
East and west of SW 97 Avenue and north of SW 152 Street

Dear Ms. Fojo:

Pursuant to the state-mandated and School Board approved Interlocal Agreement, local government, the development community and the School Board are to collaborate on the options to address the impact of proposed residential development on public schools where the proposed development would result in an increase in the schools' FISH % utilization (permanent and relocatable), in excess of 115%. This figure is to be considered only as a review threshold and shall not be construed to obligate the governing agency to deny a development.

Attached please find the School District's (District) review analysis of potential impact generated by the above referenced application. Please note that only one of the impacted school facilities meet the referenced review threshold. The proposed residential development will impact Coral Reef Senior High School currently operating at 127% of FISH % utilization. However, utilizing the County's Census 2000 figures, the proposed residential development will increase the FISH % utilization of Coral Reef Senior High School to 128% (please see attached analysis).

Additionally, at its April 13, 2005 meeting, the Board approved School District criteria that would allow District staff to make recommendations on residential zoning applications that impact public schools beyond the 115% of FISH capacity threshold (Review Criteria). Pursuant to the Interlocal and the recently approved Review Criteria, the District met with the applicant on May 11, 2005, to discuss the impact of the proposed development on public schools.

The District is grateful that the applicant took the time to meet with the School District to discuss possible mitigation options outlined in the Review Criteria that may accommodate new students generated by the proposed application. As such, the applicant has voluntarily proffered to the School Board a monetary donation, over and above impact fees. The payment of the required educational impact fees for this proposed development and the proffered monetary donation will provide the full capital cost of student stations for the additional students generated by the proposed development. Please be advised that such a proffer by the applicant is subject to School Board approval at an upcoming meeting.

Ms. Maria Teresa-Fojo
May 26, 2005
Page Two

Please note the attached analysis depicts the relief schools planned in the area, which includes the recently approved Facilities Five Year Work Program.

Also, attached is a list of approved Charter School Facilities, which may provide relief on a countywide basis, as well as a report depicting previously approved applications in the area.

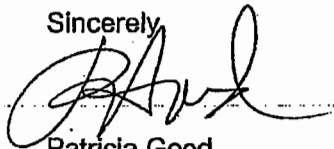
Additionally, pursuant to Miami-Dade County's Educational Facilities Impact Fee Ordinance the proposed development, if approved, will be required to pay educational facilities impact fees (impact fees) based on the following formula:

$$\text{New residential unit square footage} \times .90 \text{ (Square Footage Fee)} + \$600.00 \text{ (Base Fee)} + 2\% \text{ administrative fee} = \text{Educational Facilities Impact fee}$$

As an example, assuming the proposed unit is 2,132 square feet, the 80-unit development is estimated to generate approximately \$201,440 (\$2,518 per unit, excluding the 2% administration fee) in impact fees. This figure may vary since the impact fees assessed are based on the actual square footage of each dwelling unit.

As always, thank you for your consideration and continued partnership in our mutual goal to enhance the quality of life for the residents of our community.

Sincerely,



Patricia Good
Coordinator III

PG:am
L-0946
Attachment

cc: Ms. Ana Rijo-Conde
Mr. Fernando Albuerne
Mr. Michael A. Levine
Mr. Ivan M. Rodriguez
Ms. Vivian Villaamil
Mr. Jeffrey Flanagan

SCHOOL IMPACT REVIEW ANALYSIS

APPLICATION: No. 04-255, Irwin Potash, et al

REQUEST: Zoning change from AU (Agricultural), EU-1 (Estates 1 Family) and EU-M (Estates Modified) to PAD (Planned Area Development)

ACRES: 13.77 acres

MSA/Multiplier: 5.8/.45 and .51

LOCATION: East and west of SW 97 Avenue and north of SW 152 Street

UNITS: 80 additional units 24 units currently permitted under existing zoning classification, for a total of 104 units)

ESTIMATED STUDENT POPULATION: 36 additional students*

ELEMENTARY: 17

MIDDLE: 9

SENIOR: 10

SCHOOLS SERVING AREA OF APPLICATION:

ELEMENTARY: Colonial Drive Elementary - 10755 SW 160 Street

MIDDLE: Richmond Heights Middle - 15015 SW 103 Avenue

SENIOR HIGH: Miami Killian Senior High— 10101 SW 152 Street

All schools are located in Regions 5 and 6

* Based on Census 2000 information provided by the Miami-Dade County Department of Planning and Zoning.

The following population and facility capacity data are as reported by the Office of Information Technology, as of October, 2004:

| | STUDENT POPULATION | FISH DESIGN CAPACITY PERMANENT | % UTILIZATION FISH DESIGN CAPACITY PERMANENT | NUMBER OF PORTABLE STUDENT STATIONS | % UTILIZATION FISH DESIGN CAPACITY PERMANENT AND RELOCATABLE | CUMULATIVE STUDENTS ** |
|-------------------------------|-----------------------|--------------------------------------|--|--|---|---------------------------|
| Colonial Drive Elem. | 324/ 341* | 438 | 74%/ 78%* | 0 | 74%/ 78%* | 341 |
| Richmond Heights Middle | 1563/ 1572* | 1121 | 139%/ 140%* | 257 | 113%/ 114%* | 1796 |
| Miami Killian Sr. | 3780/ 3793* | 2148 | 176%/ 177%* | 238 | 158%/ 159%* | 3864 |

* increased student population as a result of the proposed development

** Estimated # of students (cumulative) based on zoning/land use log (2001- present) and assuming all approved developments are built; also assumes none of the prior cumulative students are figured in current population.

Notes:

- 1) Figures above reflect the impact of the class size amendment.
- 2) Pursuant to the Interlocal Agreement, the senior high school meets the review threshold.

PLANNED RELIEF SCHOOLS IN THE AREA

(information included in proposed 5-Year Capital Plan, 2005-2009, dated January 2005):

Projects in Planning, Design or Construction

| <u>School</u> | <u>Status</u> | <u>Projected Occupancy Date</u> |
|--|---------------|---------------------------------|
| K-8 Conversion at F.C. Martin Elementary School (Richmond Heights Middle School Relief) (551 student stations) | Design | December 2006 |
| State School "YY1" (Redland, Hammocks, Ammons and Richmond Heights Middle School Relief) (2120 student stations) | Design | August 2007 |

Proposed Relief Schools

| <u>School</u> | <u>Funding Year</u> |
|---|---------------------|
| New Senior High | FY 07-08 |
| Palmetto and Miami Killian Senior Relief (2000 student stations) | |

Estimated Permanent Elementary Seats (Current and Proposed in 5-Year Plan) 438
Estimated Permanent Middle Seats (Current and Proposed in 5-Year Plan) 3792
Estimated Permanent Senior High seats (Current and Proposed in 5-Year Plan) 4148

Note: Some of the proposed schools will add relief to more than one school and new seats will be assigned based on projected need.

OPERATING COSTS: According to Financial Affairs, the average cost for K-12 grade students amounts to \$6,549 per student. The total annual operating cost for additional students residing in this development, if approved, would total \$235,764.

CAPITAL COSTS: Based on the State's May-2005 student station cost factors*, capital costs for the estimated additional students to be generated by the proposed development are:

| | | |
|------------|----------------|-------------|
| ELEMENTARY | 17 x \$ 13,545 | = \$230,265 |
| MIDDLE | 9 x \$ 15,530 | = \$139,770 |
| SENIOR | 10 x \$ 20,551 | = \$205,510 |

| | |
|------------------------------|-----------|
| Total Potential Capital Cost | \$575,545 |
|------------------------------|-----------|

* Based on Information provided by the Florida Department of Education, Office of Educational Facilities Budgeting. Cost per student station does not include land cost.

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| | Applicant Name & Unit # | Location Address | Units/Students | Schools | Board District/Regions | Committee/ Council Date | Approved/ Denied/ Comment |
|----|---|---|-------------------------|---|------------------------|-------------------------|---------------------------|
| 1 | HOWARD MARLOWE #03-243 | N of SW 32 St. and W of SW 145 Ave. | 7 Units/ 4 Students | GREENGLADE ELEM-2 WR THOMAS MID-1 BRADDOCK SR-1 | 7/5 8/5 7/5 | CC12 | WITHDRAWN |
| 2 | OTTO GONZALEZ JR. #01-364 | 6725 SW 97 Ave. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 01/24/02 | DENIED |
| 3 | MARTA DE VARONA #00-370 | 9390 SW 68 St. | 2 Units/ 1 Student | SNAPPER CREEK ELEM-1 GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 02/20/01 | APPROVED |
| 4 | ENRIQUE PIWKO #03-333 | NEC of SW 84 Ave. and SW 94 St. | 2 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 8/5 8/5 | CC12 03/10/04 | APPROVED |
| 5 | EMILIA A. LAVIN #01-375 | 7890 SW 72 Ave. | 4 Units/ 2 Students | LUDLAM ELEM-1 S. MIAMI MID-1 S. MIAMI SR | 6/5 8/5 8/5 | CC12 03/28/02 | DENIED |
| 6 | RAMON LAVIN #01-378 | N of SW 80 St. and approx. 152' W of SW 72 Ave. | 3 Units/ 1 Student | LUDLAM ELEM-1 S. MIAMI MID S. MIAMI SR | 6/5 6/5 8/5 | CC12 03/28/02 | DENIED |
| 7 | JOSEPH C. SHAW, TRUSTEE #02-182 | 7990 SW 112 St. | 3 Units/ 1 Student | VINELAND ELEM-1 PALMETTO MID PALMETTO SR | 7/5 9/5 9/5 | CC12 05/13/03 | APPROVED |
| 8 | RAUL & JUANA GAMAZO #02-345 | 10305 SW 70 St. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 05/13/03 | APPROVED |
| 9 | PHILLIP & DONNA SLOTSKY, ET AL #02-346 | S of SW 112 St. and W of SW 87 Ave. | 5 Units/ 2 Students | VINELAND ELEM-1 PALMETTO MID-1 KILLIAN SR | 7/5 9/5 8/5 | CC12 05/13/03 | WITHDRAWN |
| 10 | ROSA, OTIS & JAMES WHITEHEAD #03-024 | S of SW 126 St. & E of SW 92 Ave. | 11 Units/ 4 Students | VINELAND ELEM-2 PALMETTO MID-1 PALMETTO SR-1 | 7/5 9/5 9/5 | CC12 05/28/03 | APPROVED |
| 11 | SILVERWINGS DEVELOPMENT LLC #03-035 | E of SW 80 Ave. & S of SW 110 St. | 17 Units/ 6 Students | VINELAND ELEM-3 PALMETTO MID-1 PALMETTO SR-2 | 7/5 9/5 9/5 | CC12 05/28/03 | APPROVED |
| 12 | GENERAL CONFERENCE CORP OF 7TH DAY ADVENTIST #00-440 | 8100 SW 117 Ave. | 10 Units/ 6 Students | SUNSET PARK ELEM-3 GLADES MID-1 KILLIAN SR-2 | 6/5 8/5 6/5 | CC12 07/05/01 | APPROVED |
| 13 | JIMMY DIAZ #03-109 | 4920 SW 76 St. | 1 Units/ 0 Students | CORAL GABLES ELEM PONCE DE LEON MID CORAL GABLES SR | 8/4 9/4 8/4 | CC12 07/3/03 | APPROVED |
| 14 | ROBERT S. NEUMANN #03-083 | 9720 SW 92 Terr. | 2 Units/ 1 Student | KENDALE ELEM-1 GLADES MID KILLIAN SR | 7/5 8/5 8/5 | CC12 07/3/03 | APPROVED |

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| | | | | | | | |
|----|---|------------------------------------|--------------------------|--|-------------------|------------------|-----------|
| 15 | SLMK COP. & LAURISSE K. MASRI, TRUSTEE #03-118 | SEC of SW 84 Ave. & S of SW 110 St | 3 Units/ 1 Student | VINELAND ELEM-1 PALMETTO MID KILLIAN SR | 7/5 9/5 6/5 | CC12 07/3/03 | APPROVED |
| 16 | AMIGOS INVESTMENT, INC. #03-351 | 13630 SW 97 Ave. | 3 Units/ 2 Students | LEEWOOD ELEM-1 PALMETTO MID-0 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 07/6/04 | WITHDRAWN |
| 17 | MARQUISE'S INVESTMENTS, LLC #00-176 | 9520 SW 92 St | 3 Units/ 1 Student | KENDALE ELEM-1 GLADES MID KILLIAN SR | 7/5 8/5 6/5 | CC12 09/20/01 | APPROVED |
| 18 | HHJ DEVELOPMENT, LLC #03-117 | SEC of SW 89 Ave. & SW 94 St | 3 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 6/5 6/5 | CC12 09/23/03 | APPROVED |
| 19 | FRANCIS B. COMPTON #03-271 | SW 124 St and SW 95 Ave. | 23 Units/ 10 Student | VINELAND ELEM-5 PALMETTO MID-2 KILLIAN SR-3 | 7/5 9/5 6/5 | CC12 09/8/04 | APPROVED |
| 20 | MYSTIC FOREST INVESTMENTS III, INC. #03-358 | NWC of SW 119 Ct and SW 80 St | 20 Units/ 10 Students | SUNSET PARK ELEM-5 GLADES MID-2 KILLIAN SR-3 | 6/5 6/5 6/5 | CC12 09/8/04 | APPROVED |
| 21 | TASNIM UDDIN #02-266 | E of SW 89 Ct and N of SW 72 St | 8 Units/ 3 Students | BLUE LAKES ELEM-1 GLADES MID-1 KILLIAN SR-1 | 8/5 8/5 6/5 | CC12 10/09/03 | APPROVED |
| 22 | SILVIO & JUANA YOLANDA ALVA #04-112 | SEC of SW 64 St and SW 97 Ave. | 1 Unit/ 0 Students | SNAPPER CREEK ELEM-0 GLADES MID-0 SW MIAMI SR-0 | 8/5 8/5 8/5 | CC12 10/13/04 | APPROVED |
| 23 | GAULEY PALISADE CORP. #02-096 | 8325 SW 128 St | 7 Units/ 3 Students | VINELAND ELEM-1 PALMETTO MID-1 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 10/22/02 | APPROVED |
| 24 | HARLON & ANN SACHS #02-140 | 9500 SW 68 St | 3 Units/ 1 Student | SNAPPER CREEK ELEM-1 GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 10/22/02 | APPROVED |
| 25 | ARLENE POLLOCK #01-110 | S of SW 96 St and W of SW 107 Ct | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 26 | DAVID KING #01-109 | SWC of SW 96 St and SW 107 Ct | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 27 | JAY A. DAVIS #01-108 | S of SW 96 St and W of SW 107 Ave. | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 28 | HENRY FORERO #02-172 | 13010 SW 102 Ave. | 4 Units/ 1 Student | LEEWOOD ELEM-1 PALMETTO MID KILLIAN SR | 7/5 9/5 6/5 | CC12 11/26/02 | APPROVED |

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12.

| | | | | | | | |
|----|---|---|---------------------------|--|-------------------|-------------------------|---------------------------|
| 29 | JORGE A. RODRIGUEZ #02-264 | 5810 SW 97 Ave. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 11/28/02 | APPROVED |
| 30 | LUDLAM POINT CLUB, LLC #02-221 | 6801 SW 44 St. | 118 Units/ 17 Students | S. MIAMI ELEM-8 S. MIAMI MID-4 S. MIAMI SR-5 | 8/5 6/5 8/5 | CC12 11/28/02 | APPROVED |
| 31 | HHJ DEVELOPMENT, LLC #01-388 | 8820-90 SW 94 St. | 3 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 6/5 6/5 | CC12 11/28/02 | DENIED |
| 32 | AVIS KAPLOW KALLAN #02-269 | 11860 SW 80 St. | 58 Units/ 32 Students | SUNSET PARK ELEM-15 GLADES MID-8 KILLIAN SR-9 | 6/5 8/5 6/5 | CC12 12/18/02 | APPROVED |
| 33 | SOUTH MIAMI METRORAIL STATION SITE | Property bounded by Sunset Dr., SW 59 Pl. SW 70 St. and US-1 | 144 Units/ 23 Students | LUDLAM ELEM S. MIAMI MID S. MIAMI SR | 6/5 6/5 8/5 | CC12 BCC | APPROVED |
| 34 | GEORGE E. WILLIAMSON, II AND THOMAS W. WILLIAMSON | SEC of N. Kendal Dr. and Dadeland Blvd. | 373 Units/ 78 Students | KENWOOD ELEM GLADES MID S. MIAMI SR | 7/5 8/5 8/5 | CC12 BCC 03/14/02 | APPROVED \$123,240 O/A |
| 35 | A WALK IN GLOWAY PARK, INC #03-318 | NWC of SW 112 St. and SW 87 Ave. | 4 Units/ 2 Student | VINELAND ELEM-1 PALMETTO MID-0 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 BCC 11/18/04 | APPROVED |
| 36 | A WALK IN FALL PARK, INC. #03-320 | SWC of SW 148 St. and SW 93 Ave. | 10 Units/ 5 Students | VINELAND ELEM-2 SOUTHWOOD MID-1 PALMETTO SR-2 | 7/5 9/5 9/5 | CC12 Def.-04/26/05 | PENDING |
| 37 | DADELAND BREEZES APARTMENTS, LLC #04-366 | N of SW 88 St. on the W side of State Road 828 | 242 Units/ 61 Student | KENWOOD ELEMID-28/15 S MIAMI SR-18 | 6/5 8/5 | CC12 Def.-04/26/05 | PENDING |
| 38 | PANCHO MENENDEZ LAND TRUST #04-374 | S of SW 40 St. and W of SW 69 Ave. | 27 Units/ 10 Student | S. MIAMI ELEM-5 S. MIAMI MID-2 S. MIAMI SR-3 | 6/5 6/5 8/5 | CC12 Def.-04/26/05 | PENDING |
| 39 | PINES DEVELOPMENT CORP. #04-333 | 9795 SW 107 Ave. | 3 Units/ 1 Students | KENDALE ELEM-1 ARVIDA MID-0 KILLIAN SR-0 | 7/5 7/5 6/5 | CC12 Def.-04/26/05 | PENDING |

Note: There are four applications that are pending which would generate 77 students.

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| SCHOOLS | STUDENT POPULATION | NUMBER OF STUDENTS PER PROJECT APPROVED | COMPLIANT TOTAL STUDENT POPULATION | STUDENT STATIONS PERMANENT | STUDENT STATIONS RELOCATABLE | COMBINATION RESULTING RELOCATABLE |
|---------------------------|-----------------------|--|---------------------------------------|----------------------------------|------------------------------------|---|
| BLUE LAKES ELEM | 540 | 1 | 541 | 760 | 36 | 68% |
| KENDALE ELEM | 590 | 5 | 595 | 459 | 18 | 125% |
| KENWOOD ELEM | 1136 | 2 | 1138 | 854 | 16 | 131% |
| LEEWOOD ELEM | 620 | 1 | 621 | 594 | 40 | 98% |
| S. MIAMI ELEM | 553 | 8 | 561 | 283 | 128 | 136% |
| SNAPPER CREEK ELEM | 604 | 2 | 606 | 480 | 0 | 126% |
| SUNSET PARK ELEM | 655 | 23 | 678 | 704 | 18 | 94% |
| VINELAND ELEM | 624 | 14 | 638 | 537 | 112 | 98% |
| ELEMENTARY TOTALS | 622 | 50 | 6276 | 2177 | 385 | 107% |
| ARVIDA MID | 1798 | 3 | 1801 | 892 | 158 | 172% |
| GLADES MID | 1550 | 12 | 1562 | 804 | 158 | 162% |
| PALMETTO MID | 1746 | 5 | 1751 | 905 | 139 | 168% |
| S. MIAMI MID | 1260 | 4 | 1264 | 719 | 79 | 158% |
| MIDDLE TOTALS | 622 | 34 | 6276 | 2177 | 385 | 107% |
| MIAMI KILLIAN SR | 3780 | 20 | 3800 | 2148 | 238 | 159% |
| MIAMI PALMETTO SR | 3550 | 3 | 3553 | 2053 | 238 | 155% |
| SOUTH MIAMI SR | 2858 | 5 | 2863 | 1695 | 261 | 146% |
| SENIOR HIGH TOTALS | 622 | 28 | 6276 | 2177 | 385 | 107% |
| TOTAL | 21864 | 108 | 21972 | 13887 | 1639 | 142% |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|---|-------------|---|--|---|----|----|
| 7022 | Academy of Arts and Minds <i>Opening Fall 2004</i> | 9-12 | 305-448-1100 305-448-9737 Fax | 3138 Commodore Plaza Coconut Grove 33133 | Ms. Vella Yedra | 4 | 6 |
| 0510 | Archimedean Academy | K-6 | 305-279-6572 305-675-8448 Fax 702-993-1328 Fax - <i>Electronic</i> | 12425 SW 72 St. Miami 33183 | Ms. Pat Booth pbooth@dadeschools.net | 5 | 7 |
| 6070 | ASPIRA Eugenio Maria De Hostos Charter School | 6-8 | 305-576-1512 305-576-0810 Fax | 1910 NE Miami Ct. Miami 33127 | Mr. Fernando Lopez flopez@dadeschools.net | 4 | 2 |
| 6060 | ASPIRA South Youth Leadership Charter School | 6-8 | 305-246-1111 305-246-1433 Fax | 14112-14114 SW 288 St. Lelsure City 33033 | Mr. Kevin Moore kmoore@dadeschools.net | 6 | 9 |
| 6020 | ASPIRA Youth Leadership Charter School | 6-8 | 305-893-8050 305-891-6055 Fax | 13300 Memorial Hwy. N. Miami 33161 | Ms. Iliana Peña idpena@dadeschools.net | 2 | 1 |
| 0950 | Aventura City of Excellence School | K-8 | 305-466-1499 305-466-1339 Fax | 3333 NE 188 St. Aventura 33180 | Dr. Katherine Murphy kmurphy@dadeschools.net | 2 | 3 |
| 0113 | Balere Language Academy <i>Opening Fall 2004</i> | K-8 | 305-232-9797 305-232-4535 Fax | 10600 Caribbean Blvd. Miami 33189 | Ms. Rocka Malik | 6 | 9 |
| 0070 | Coral Reef Montessori Academy | K-8 | 305-255-0064 305-255-4085 Fax | 10853 SW 216 St. Miami 33157 <i>Temporary location:</i> 10875 SW 186 St. Miami 33157 | Ms. Juliet King juletking@dadeschools.net Ms. Lucy Canzoneri-Golden | 6 | 9 |
| 3030 | Doral Academy | K-5 | 305-597-9999 305-591-2669 Fax | 2450 NW 97 Ave. Miami 33172 | Ms. Ileana Gomez ileanagomez@dadeschools.net | 3 | 5 |
| 6030 | Doral Academy Charter Middle | 6-8 | 305-591-0020 305-591-9251 Fax | 2501 NW 112 Ave. Miami 33172 | Mr. Jose Baca | 3 | 5 |
| 7020 | Doral Academy High School | 9-12 | 305-597-9950 305-477-6762 Fax | 11100 NW 27 St. Miami 33172 | Mr. Frank Jimenez | 3 | 5 |
| 3600 | Downtown Miami Charter School | K-8 | 305-579-2112 305-579-2115 Fax | 305 NW 3 Ave. Miami 33128 | Ms. Terry Maus | 4 | 6 |
| 6010 | Florida International Academy | 6-8 | 305-758-6912 305-758-6985 Fax | 7630 Biscayne Blvd. Miami 33138 | Ms. Sonia Mitchell smitchell@dadeschools.net | 4 | 2 |
| 2060 | Theodore R. and Thelma A. Gibson Charter School | K-8 | 305-648-3126 305-648-3130 Fax | 3634 Grand Ave. Miami 33133 | TBA | 4 | 6 |
| 7007 | International Studies Charter High School <i>Opening Fall 2004</i> | 9-12 | TBA | 3280 South Miami Avenue Miami 33127 | Mr. Rufus Samkin | 4 | 6 |
| 3610 | Keys Gate Charter School | K-8 | 305-230-1616 305-230-1347 Fax | 2000 SE 28 Ave. Homestead 33035 | Ms. Christine Valadez cvaladez@dadeschools.net | 6 | 9 |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|--|-------------|---|--|--|----|----|
| 0204 | Las Palmas Charter <i>Opening Fall 2004</i> | K-8 | 954-722-1141 | 14250 SW 202 Avenue Miami 33196 | TBA | 6 | 7 |
| 0040 | Liberty City Charter School | K-8 | 305-751-2700 305-751-1316 Fax | 8700 NW 5 Ave. Miami 33150 | Ms. Katrina Wilson-Davis k.wilson-davis@dadeschools.net | 4 | 2 |
| 0100 | Mater Academy | K-5 | 305-698-9900 305-698-3822 Fax | 7700 NW 98th St. Hialeah Gdns 33016 | Ms. Kim Guillarte kguillarte@dadeschools.net | 1 | 4 |
| 6012 | Mater Academy Charter Middle | 6-8 | 305-828-1886 305-828-6175 Fax | 7901 NW 103 St. Hialeah Gardens 33016 | Mr. Rene Roviroso roviroso@dadeschools.net | 1 | 4 |
| 3100 | Mater Academy East Charter School | K-8 | 305-324-4667 305-324-6580 Fax | 450 SW 4th St. Miami 33130 | Ms. Beatriz Riera briera@dadeschools.net | 4 | 6 |
| 7160 | Mater Academy Charter High School | 9-12 | 305-828-1886 305-828-6175 Fax | 7901 NW 103 St. Hialeah Gdns 33016 | Ms. Judith Marty jmarty@dadeschools.net | 1 | 4 |
| 3630 | Miami Children's Museum Charter School <i>Opening Fall 2004</i> | K-5 | Academica Corporation 305-669-2906 305-669-4390 Fax | 980 McArthur Causeway Miami 33132 Temporary location for 04-05: 450 SW 4 St. Miami 33130 | TBA | 4 | 6 |
| 0102 | Miami Community Charter School <i>Opening Fall 2004</i> | K-5 | 305-245-2552 305-245-2527 | 101 SW Redland Road Miami 33034 | Ms. Jila Rezaie | 6 | 7 |
| 6040 | Miami Shores/Barry University Connected Learning Center | 6-8 | 305-754-2381 305-754-9928 Fax | 11441 NW 2 Ave. Miami Shores 33168 | Mr. John Ferrell jferrell@dadeschools.net | 4 | 2 |
| 0110 | North County Charter School | K-5 | 305-681-9116 305-688-8096 Fax | 3400 NW 135th St. Miami 33054 | TBA | 1 | 1 |
| 5130 | North Dade Community Charter School | K-5 | TBA | 13301 NW 24th Ave. Opa-Locka 33054 | Mr. Edward Bethel edbethel@dadeschools.net | 1 | 1 |
| 0120 | Northeast Academy Charter | K-5 | 305-685-2456 305-685-2508 Fax | 3400 NW 135 St. Miami 33054 | TBA | 2 | 3 |
| 0600 | Pinecrest Preparatory Academy | K-5 | 305-207-1027 305-207-1897 Fax | 14301 SW 42 St. Miami 33175 | Ms. Susie Dopico sdopico@dadeschools.net | 5 | 8 |
| 6022 | Pinecrest Academy Charter Middle School | 6-8 | 305-207-1027 305-207-1897 Fax | 14301 SW 42 St. Miami 33175 | Ms. Jeanette Menendez | 5 | 8 |
| 0400 | Renaissance Elementary Charter School | K-5 | 305-591-2225 305-591-2984 Fax | 8360 NW 33 St. Miami 33122 | Ms. Ana Cordal acordal@dadeschools.net | 3 | 5 |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|---|-------------|---|--|---|----|----|
| 0300 | Rosa Parks Charter School/Florida City | K-8 | 305-246-3336 305-246-3340 Fax | K-5 students will be at this location: 713 West Palm Dr. Florida City 33034 6-8 students will be at this location: 303 West Palm Dr. Florida City 33034 | Mr. George Brown gwbrown@dadeschools.net | 6 | 9 |
| 0500 | Rosa Parks Community School/Overtown | K-6 | 305-379-4905 305-379-4988 Fax | 430 NW 9th St. Miami 33136 | Mr. George Brown gwbrown@dadeschools.net | 4 | 2 |
| 7030 | School for Integrated Academics & Technologies (SIA Tech) | 9-12 | TBA | Main Campus: Miami Job Corps Center 3050 NW 183 St. Miami South Campus: Homestead Job Corps Center 12350 SW 285 St. Homestead | Ms. Marjorie Lopez | 2 | 1 |
| 0520 | Somerset Academy Opening Fall 2004 | K-5 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 Temporary location for 04-05: TBA | TBA | 6 | 9 |
| 6004 | Somerset Academy Charter Middle Opening Fall 2004 | 6-8 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 Temporary locations for 04-05: 2601 NW 112 Ave. Miami 33172 8750 NW 21 Terr, Miami 33172 | TBA | 6 | 9 |
| 7042 | Somerset Academy Charter High School Opening Fall 2004 | 9-12 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 Temporary locations for 04-05: 2601 NW 112 Ave. Miami 33172 11100 NW 27 St. Miami 33172 | TBA | 6 | 9 |
| 0200 | Spiral Tech Elementary Charter School | K-5 | 305-273-0474 305-273-0242 Fax | 12400 SW 72 St. Miami 33183 | Ms. Gisela Batan gbatan@dadeschools.net | 6 | 9 |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|---|-------------|----------------------------------|---|--|-----|-----|
| 6900 | Vankara Academy Charter School | 6-8 | 305-769-2827 305-685-7551 Fax | 13307-11 Alexandria Dr. Opa-Locka 33054 | TBA | 1 | 1 |
| 5710 | Sandor Wiener School of Opportunity | K-5 | 305-623-9631 305-623-9621 Fax | Main Campus: 20000 NW 47 Ct. Opa-Locka 33055 | Ms. Lissa Gonzalez lgonzalez1@dadeschools.net | 1 | 1 |
| | | | 305-279-3064 305-279-3294 Fax | Kendall Campus: 11025 SW 84th St. Miami 33173 | Lead Teacher: Ms. Roxana Ochoa | | |
| 4050 | Sweet Home Charter School <i>Opening Fall 2004</i> | K-8 | Mr. Peter Calin 305-725-0119 | TBA | TBA | TBA | TBA |
| 1020 | Youth Co-Op Charter School | K-8 | 305-819-8855 305-819-8455 Fax | 12051 W. Okeechobee Rd. Hialeah Gdns 33018 | Ms. Maritza Aragon maragon@dadeschools.net | 1 | 4 |

PETITION OF APPEAL FROM DECISION OF
MIAMI-DADE COUNTY COMMUNITY ZONING APPEALS BOARD
TO THE BOARD OF COUNTY COMMISSIONERS

CHECKED BY AV AMOUNT OF FEE 1,659.⁰⁴

RECEIPT # 1200517773

DATE HEARD: 10/17/05

BY CZAB # C14

RECEIVED
OCT 31 2005

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

BY Wendy

DATE RECEIVED STAMP

This Appeal Form must be completed in accordance with the "Instruction for Filing an Appeal" and in accordance with Chapter 33 of the Code of Miami-Dade County, Florida, and return must be made to the Department on or before the Deadline Date prescribed for the Appeal.

RE: Hearing No. 04-255

Filed in the name of (Applicant) Irwin Potash, et.al

Name of Appellant, if other than applicant _____

Address/Location of APPELLANT'S property: See Attached Exhibit "A"

Application, or part of Application being Appealed (Explanation): Entire Application

Appellant (name): Irwin Potash, et.al
hereby appeals the decision of the Miami-Dade County Community Zoning Appeals Board with reference to the above subject matter, and in accordance with the provisions contained in Chapter 33 of the Code of Miami-Dade County, Florida, hereby makes application to the Board of County Commissioners for review of said decision. The grounds and reasons supporting the reversal of the ruling of the Community Zoning Appeals Board are as follows:
(State in brief and concise language)

The decision of CZAB #14 was not based on competent substantial
evidence and was predicated on items having nothing to do with
the Application.

APPELLANT MUST SIGN THIS PAGE

Date: 19 day of October, year: 2005

Signed

Jeffrey M. Flanagan, Esq.

Print Name

999 Ponce de Leon Boulevard, Suite 1000
Coral Gables, Florida 33134

Mailing Address

(305) 444-1500

Phone

(305) 443-8617

Fax

REPRESENTATIVE'S AFFIDAVIT

If you are filing as representative of an
association or other entity, so indicate:

Representing

Signature

Print Name

Address

City

State

Zip

Telephone Number

Subscribed and Sworn to before me on the 19 day of October, year 2005

Jessica Espinosa
Notary Public



Jessica Espinosa
Commission # DD273053
Expires: Dec. 7, 2007
Aaron Notary
1-800-350-5161

(stamp/seal)

Commission expires:

APPELLANT'S AFFIDAVIT OF STANDING

(must be signed by each Appellant)

STATE OF Florida

COUNTY OF Dade

Before me the undersigned authority, personally appeared Jeffrey M. Flanagan
(Appellant) who was sworn and says that the Appellant has standing to file the attached appeal
of a Community Zoning Appeals Board decision.

The Appellant further states that they have standing by virtue of being of record in Community
Zoning Appeals Board matter because of the following:

(Check all that apply)

- ☒ 1. Participation at the hearing
☒ 2. Original Applicant
☐ 3. Written objection, waiver or consent

Appellant further states they understand the meaning of an oath and the penalties for perjury,
and that under penalties of perjury, Affiant declares that the facts stated herein are true.

Further Appellant says not.

Witnesses:

Jessica Espinosa
Signature

Jessica Espinosa
Print Name

Zeporia Kettles
Signature

Zeporia Kettles
Print Name

Jeffrey M. Flanagan
Appellant's signature

Jeffrey M. Flanagan
Print Name

Sworn to and subscribed before me on the 19 day of October, year 2005.

Appellant is personally know to me or has produced _____ as
identification.



Jessica Espinosa
Commission # DD273053
Expires: Dec. 7, 2007
Aaron Notary
1-800-350-5161

Jessica Espinosa
Notary

(Stamp/Seal)

Commission Expires:

RESOLUTION NO. CZAB14-38-05

WHEREAS, IRWIN POTASH, ET AL. applied for the following:

- (1) AU, EU-1 & EU-M to PAD
- (2) Applicant is requesting to permit 1-way drives 12' in width (14' required).

Upon a demonstration that the applicable standards have been satisfied, approval of request #2 may be considered under §33-311(A)(4)(b) (Non-Use Variance) or (c) (Alternative Non-Use Variance).

Plans are on file and may be examined in the Zoning Department entitled "Palms of Coral Reef," as prepared by Sotolongo Architects, consisting of 20 sheets, dated, signed and sealed 7/15/05 and landscape plans as prepared by Witkin Design Group, consisting of 8 sheets, dated, signed and sealed 7/14/05. Plans may be modified at public hearing.

SUBJECT PROPERTY: The east $\frac{1}{4}$ of the SW $\frac{1}{4}$, of the SW $\frac{1}{4}$, of the SW $\frac{1}{4}$ of Section 21, Township 55 South, Range 40 East, less the south 35' and less that portion lying east and Northeast of the south Right-of-Way Line of Canal C-100. AND: The west $\frac{1}{2}$ of the SW $\frac{1}{4}$, of the SW $\frac{1}{4}$, of the SW $\frac{1}{4}$ of Section 21, Township 55 South, Range 40 East, less the south 35', less the west 35', and less that portion for Right-of-Way of Canal C-100. AND: The NE $\frac{1}{4}$, of the SE $\frac{1}{4}$, of the SE $\frac{1}{4}$ lying south of Canal C-100 Right-of-Way Section 20, Township 55 South, Range 40 East. AND: The north 129', of the east $\frac{1}{4}$ of the SE $\frac{1}{4}$, of the SE $\frac{1}{4}$, of the SE $\frac{1}{4}$ of Section 20, Township 55 South, Range 40 East subject to dedication of the east 40' thereof, Official Records Book 16849, Page 4211. AND: The north 214' of Tract "A" of JACADAMA TRACT, Plat book 119, Page 81 AND: In addition that portion of the SW $\frac{1}{4}$, of the NW $\frac{1}{4}$, of the SW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 21, Township 55 South, Range 40 East; lying south and west of Canal C-100; less the west 35' thereof.

LOCATION: The north side of S.W. 152 Street & lying east and west of theoretical S.W. 97 Avenue, Miami-Dade County, Florida, and

WHEREAS, a public hearing of the Miami-Dade County Community Zoning Appeals Board 14 was advertised and held, as required by law, and all interested parties concerned in the matter were given an opportunity to be heard, and

WHEREAS, upon due and proper consideration having been given to the matter, it is the opinion of this Board that the requested district boundary change to PAD (Item #1), would not be compatible with the neighborhood and area concerned and would be in conflict with the principle and intent of the plan for the development of Miami-Dade County, Florida, and should be denied, and the request to permit 1-way drives 12' in width

(Item #2) would not be in harmony with the general purpose and intent of the regulations and would not conform with the requirements and intent of the Zoning Procedure Ordinance, and

WHEREAS, a motion to deny Items #1 & 2 with prejudice was offered by Curtis Lawrence, seconded by Samuel L. Ballinger, and upon a poll of the members present the vote was as follows:

| | | | |
|--------------------|-----|-----------------------|--------|
| Samuel Ballinger | aye | Rose L. Evans-Coleman | absent |
| Wilbur B. Bell | aye | Don Jones | absent |
| Dawn Lee Blakeslee | aye | Curtis Lawrence | aye |
| Dr. Pat Wade | aye | | |

NOW THEREFORE BE IT RESOLVED by the Miami-Dade County Community Zoning Appeals Board 14, that the requested district boundary change to PAD (Item #1), be and the same is denied with prejudice.

BE IT FURTHER RESOLVED that the request to permit 1-way drives 12' in width (Item #2) be and the same is hereby denied with prejudice.

The Director is hereby authorized to make the necessary notations upon the records of the Miami-Dade County Department of Planning and Zoning.

PASSED AND ADOPTED this 17th day of October, 2005.

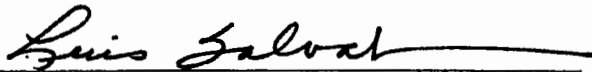
Hearing No. 05-10-CZ14-1
Is

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

I, Luis Salvat, as Deputy Clerk for the Miami-Dade County Department of Planning and Zoning as designated by the Director of the Miami-Dade County Department of Planning and Zoning and Ex-Officio Secretary of the Miami-Dade County Community Zoning Appeals Board 14, DO HEREBY CERTIFY that the above and foregoing is a true and correct copy of Resolution No. CZAB14-38-05 adopted by said Community Zoning Appeals Board at its meeting held on the 17th day of October 2005.

IN WITNESS WHEREOF, I have hereunto set my hand on this the 1st day of November, 2005.



Luis Salvat, Deputy Clerk (2678)
Miami-Dade County Department of Planning and Zoning

SEAL

TEAM METRO

ENFORCEMENT HISTORY

IRWIN POTASH, ET AL

THE NORTH SIDE OF S.W. 152
STREET & LYING EAST AND WEST
OF THEORETICAL S.W. 97
AVENUE, MIAMI-DADE COUNTY,
FLORIDA.

APPLICANT

ADDRESS

Z2004000255

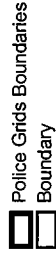
HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

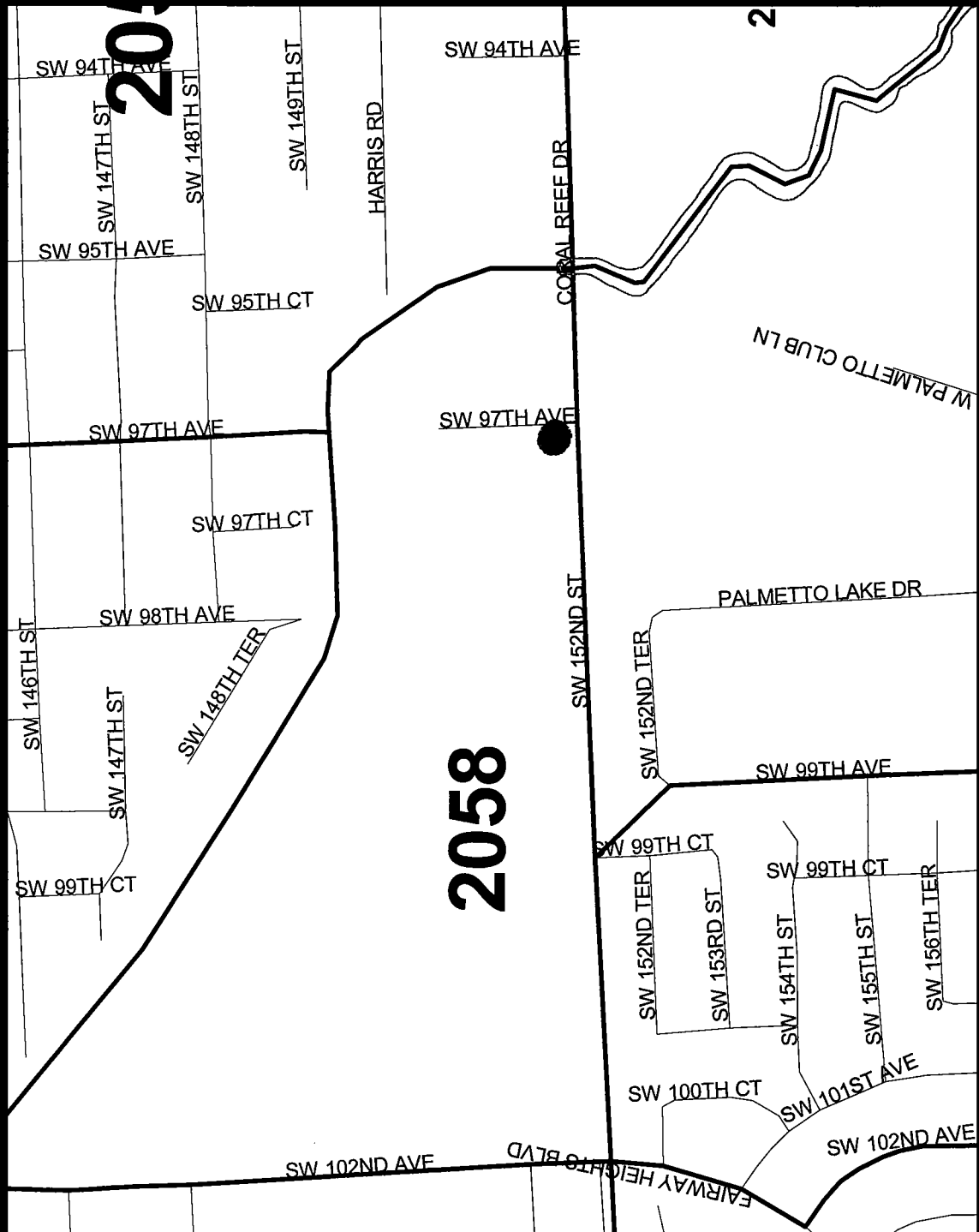
Both lots were found in violation and since a prior warning had been issued, a Civil Violation Notice is being issued for each property.



Miami-Dade Police Department
Target Area - Police Grid(s): 2058
IRWIN POTASH, ET AL; HEARING # 04-255



MDPD Crime Analysis System
December 21, 2005
Data in this document represents
successfully geocoded attributes.



0 0.05 0.1 Miles





Miami-Dade Police Department

Miami-Dade Police Department Zoning Hearing Report - Dispatch Information For 2003 and 2004



Detail Filter: (Dis.Complaint Date >= FirstDate and Dis.Complaint Date < LastDate) and (Dis.Grid In ("1444", "2058", "2074")) and ((Dis.Signal Code In ("13", "14", "15", "16", "17", "18", "19", "20", "21", "22", "23", "24", "25", "26", "27", "28", "29", "30", "31", "32", "33", "34", "35", "36", "37", "38", "39", "40", "41", "42", "43", "44", "45", "46", "47", "48", "49", "50", "51", "52", "53", "54", "55") or ('ALL' In ("13", "14", "15", "16", "17", "18", "19", "20", "21", "22", "23", "24", "25", "26", "27", "28", "29", "30", "31", "32", "33", "34", "35", "36", "37", "38", "39", "40", "41", "42", "43", "44", "45", "46", "47", "48", "49", "50", "51", "52", "53", "54", "55"))) and Common

| | | 2003 | 2004 |
|-------------------------------|-------------|--------------------|------|
| Grid | Signal Code | Signal Description | |
| Total Signals for Grid 2058 : | | 286 | 184 |



MIAMI-DADE POLICE DEPARTMENT
Zoning Hearing Report Part I and Part II Crimes w/o AOA
For Specific Grids
For 2003 and 2004



Miami-Dade Police Department

Grid(s): 1444, 2058, 2074

2003 2004

| Grid 2058 | | | | | |
|-----------------|------|----------------------------------|--|----|---|
| Part I | | | | | |
| | 130A | AGGRAVATED ASSAULT | | 6 | 1 |
| | 2200 | BURGLARY | | 3 | 0 |
| | 110A | RAPE | | 1 | 0 |
| | 230G | SHOPLIFTING ALL OTHERS | | 6 | 1 |
| | 230F | SHOPLIFTING FROM A MOTOR VEHICLE | | 0 | 1 |
| Part I TOTAL | | | | 16 | 3 |
| Part II | | | | | |
| | 2000 | ARSON | | 0 | 1 |
| | 260D | IMPERSONATION | | 0 | 1 |
| | 130B | SIMPLE ASSAULT | | 2 | 1 |
| Part II TOTAL | | | | 2 | 3 |
| Grid 2058 TOTAL | | | | 18 | 6 |



Miami-Dade Police Department Zoning Hearing Report - Dispatch Information For 2003 and 2004



Miami-Dade Police Department

Detail Filter: (Dis.Complaint Date >= FirstDate and Dis.Complaint Date < LastDate) and (Dis.Grid In ("1444", "2058", "2074")) and ((Dis.Signal Code In ("13", "14", "15", "16", "17", "18", "19", "20", "21", "22", "23", "24", "25", "26", "27", "28", "29", "30", "31", "32", "33", "34", "35", "36", "37", "38", "39", "40", "41", "42", "43", "44", "45", "46", "47", "48", "49", "50", "51", "52", "53", "54", "55") or ('ALL' In ("13", "14", "15", "16", "17", "18", "19", "20", "21", "22", "23", "24", "25", "26", "27", "28", "29", "30", "31", "32", "33", "34", "35", "36", "37", "38", "39", "40", "41", "42", "43", "44", "45", "46", "47", "48", "49", "50", "51", "52", "53", "54", "55")))) and Common

2003 2004

| Grid | Signal Code | Signal Description | | |
|------|-------------|--------------------------------|-----|----|
| 2058 | 13 | SPECIAL INFORMATION/ASSIGNMENT | 6 | 8 |
| | 14 | CONDUCT INVESTIGATION | 32 | 36 |
| | 15 | MEET AN OFFICER | 131 | 66 |
| | 17 | TRAFFIC ACCIDENT | 3 | 3 |
| | 18 | HIT AND RUN | 1 | 0 |
| | 19 | TRAFFIC STOP | 3 | 0 |
| | 20 | TRAFFIC DETAIL | 3 | 2 |
| | 21 | LOST OR STOLEN TAG | 1 | 1 |
| | 22 | AUTO THEFT | 2 | 0 |
| | 25 | BURGLAR ALARM RINGING | 14 | 0 |
| | 26 | BURGLARY | 5 | 3 |
| | 27 | LARCENY | 5 | 2 |
| | 28 | VANDALISM | 0 | 1 |
| | 32 | ASSAULT | 8 | 6 |
| | 33 | SEX OFFENSE | 0 | 1 |
| | 34 | DISTURBANCE | 9 | 5 |
| | 36 | MISSING PERSON | 2 | 1 |
| | 37 | SUSPICIOUS VEHICLE | 1 | 2 |
| | 38 | SUSPICIOUS PERSON | 4 | 1 |
| | 39 | PRISONER | 0 | 2 |
| | 41 | SICK OR INJURED PERSON | 38 | 26 |
| | 43 | BAKER ACT | 1 | 0 |
| | 45 | DEAD ON ARRIVAL | 13 | 11 |
| | 49 | FIRE | 3 | 6 |
| | 54 | FRAUD | 1 | 1 |

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Coral Reef Drive Land Development, LLC

| <u>NAME AND ADDRESS</u> | <u>Percentage of Stock</u> |
|------------------------------|----------------------------|
| <u>Robert J. Shelley, IV</u> | <u>50%</u> |
| <u>Douglas F. Landsea</u> | <u>50%</u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME:

| <u>NAME AND ADDRESS</u> | <u>Percentage of Interest</u> |
|-------------------------|-------------------------------|
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME:

| <u>NAME AND ADDRESS</u> | <u>Percent of Ownership</u> |
|-------------------------|-----------------------------|
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |
| <u> </u> | <u> </u> |

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: _____

| NAME, ADDRESS AND OFFICE (if applicable) | Percentage of Interest |
|--|------------------------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: _____
(Applicant) DOUGLAS F. LARSON, MANAGING MEMBER

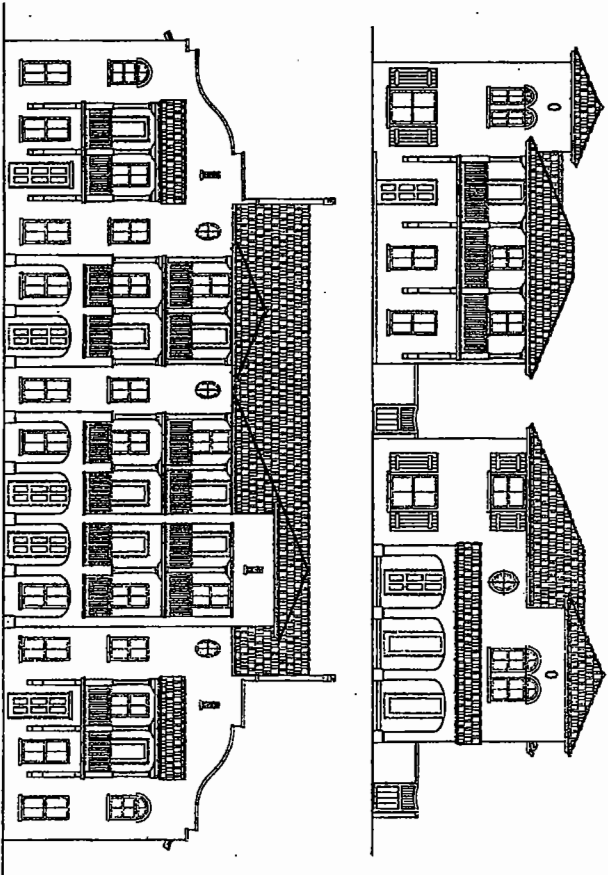
Sworn to and subscribed before me this 10 day of JANUARY, 2006. Affiant is personally known to me or has produced _____ as identification.

(Notary Public)



My commission expires _____

*Disclosure shall not be required of: 1) any entity, partnership or trust in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.



PLANNING AND ARCHITECTURE
 SOTO LONGO ARCHITECTS
 10630 N.W. 27th STREET
 MIAMI, FLORIDA 33172
 305-593-9798

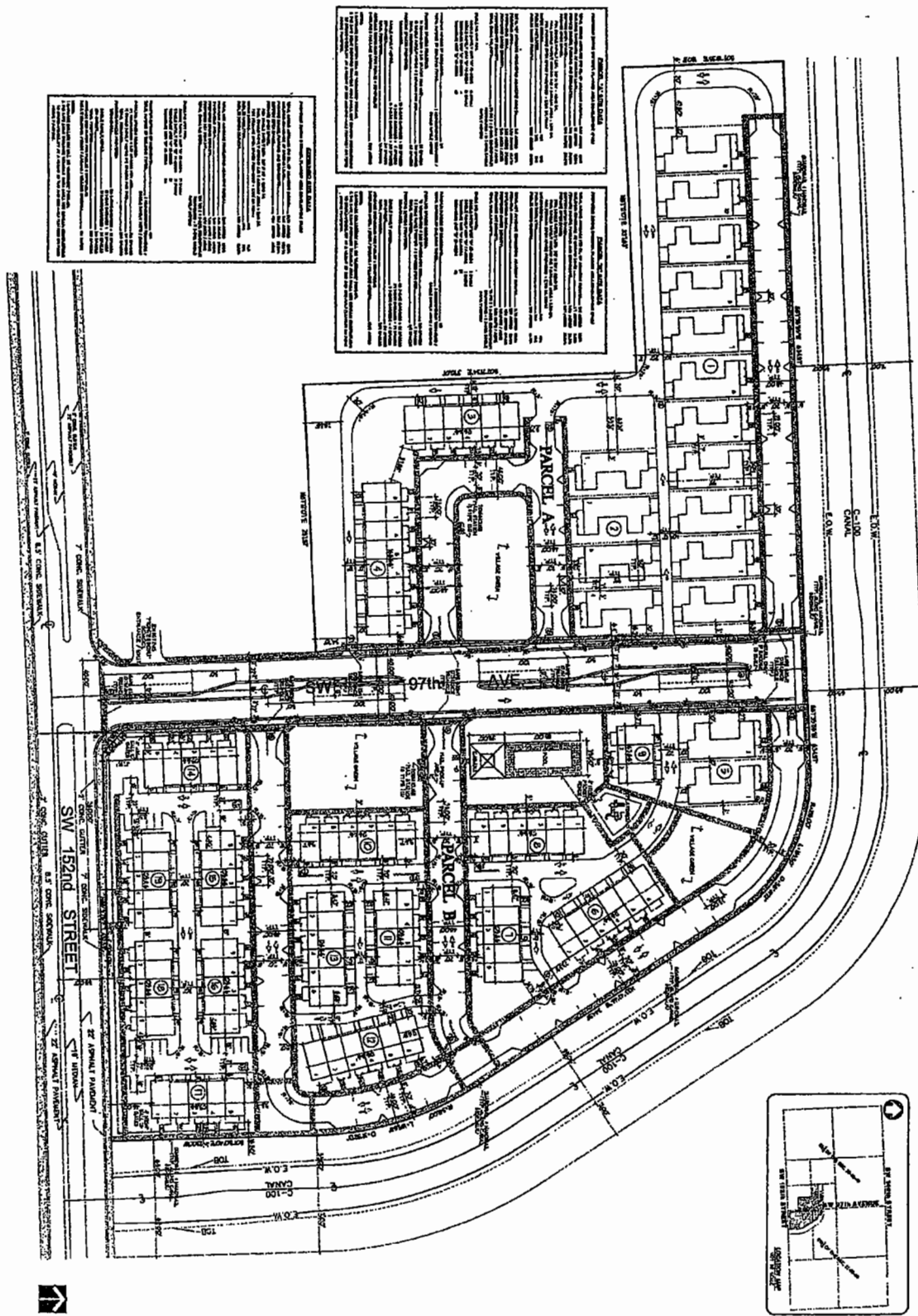
PALMS OF CORAL REEF RESIDENTIAL COMMUNITY

S.W. 97th AVENUE & 152nd STREET
 MIAMI-DADE COUNTY, FLORIDA.

OWNER
 LANDSEA DEVELOPMENTS
 9155 SOUTH DADELAND BOULEVARD, SUITE 1810
 MIAMI, FLORIDA 33156
 305-670-3837



LANDSCAPE ARCHITECT
 WITKIN DESIGN GROUP
 16853 N.E. 2nd AVENUE, SUITE 305
 NORTH MIAMI BEACH, FLORIDA 33162.
 305-650-8669



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.L.A.C. CODES AND SPECIFICATIONS.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND FOR THE QUALITY OF THE WORKMANSHIP.
5. THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL FEES AND CHARGES ASSOCIATED WITH THE PROJECT.
6. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
8. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AFTER COMPLETION.
9. THE DESIGNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AFTER COMPLETION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AFTER COMPLETION.

LEGEND

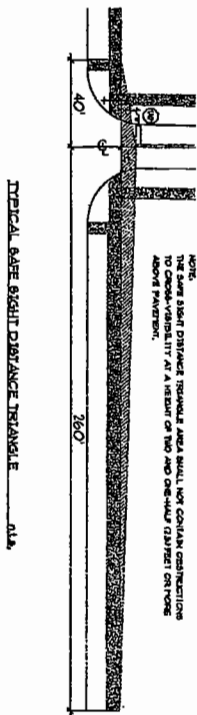
| | |
|----|--------------------------|
| 1 | EXISTING BUILDING |
| 2 | EXISTING PARKING |
| 3 | EXISTING LANDSCAPE |
| 4 | EXISTING UTILITIES |
| 5 | EXISTING STRUCTURES |
| 6 | EXISTING FENCES |
| 7 | EXISTING DRIVEWAYS |
| 8 | EXISTING ROADS |
| 9 | EXISTING CANALS |
| 10 | EXISTING WATERSHEDS |
| 11 | EXISTING WETLANDS |
| 12 | EXISTING FOREST |
| 13 | EXISTING PRAIRIE |
| 14 | EXISTING SAVANNAH |
| 15 | EXISTING TROPICAL FOREST |
| 16 | EXISTING MANGROVE |
| 17 | EXISTING COASTAL PLANT |
| 18 | EXISTING MARSH |
| 19 | EXISTING BEACH |
| 20 | EXISTING DUNE |
| 21 | EXISTING SAND |
| 22 | EXISTING ROCK |
| 23 | EXISTING CORAL |
| 24 | EXISTING SHELL |
| 25 | EXISTING FISH |
| 26 | EXISTING BIRD |
| 27 | EXISTING MAMMAL |
| 28 | EXISTING AMPHIBIAN |
| 29 | EXISTING REPTILE |
| 30 | EXISTING INSECT |
| 31 | EXISTING PLANT |
| 32 | EXISTING ANIMAL |
| 33 | EXISTING VEGETATION |
| 34 | EXISTING WILDLIFE |
| 35 | EXISTING HABITAT |
| 36 | EXISTING ECOSYSTEM |
| 37 | EXISTING BIOME |
| 38 | EXISTING CLIMATE |
| 39 | EXISTING SOIL |
| 40 | EXISTING WATER |
| 41 | EXISTING AIR |
| 42 | EXISTING GROUND |
| 43 | EXISTING SURFACE |
| 44 | EXISTING SUBSURFACE |
| 45 | EXISTING GEOSCIENCE |
| 46 | EXISTING GEOLOGY |
| 47 | EXISTING MINERAL |
| 48 | EXISTING FUEL |
| 49 | EXISTING ENERGY |
| 50 | EXISTING TECHNOLOGY |

7/15/2005
SAIL & SOTOLONGO
PROJECT N° 087112

SP-1
SOTOLONGO ARCHITECTS, INC.
10630 NORTHWEST 27TH STREET
DORAL, FLORIDA 33172
TELEPHONE: (305) 593-0798
FAX: (305) 593-0086
CORP. LICENSE AAC000875

SITE PLAN
SCALE: 1"=40'-0"
DESIGNED BY: JTS
DRAWN BY: JTS
DATE: 10/26/04
JOB: 0421
SHEET: 1 OF 1

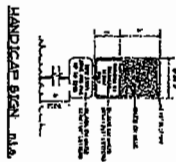
Palms of Coral Reef
RESIDENTIAL COMMUNITY
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS



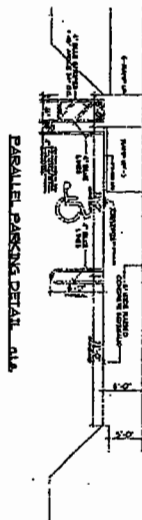
TYPICAL SAFE EXIT DISTANCE TRIANGLE - ALA



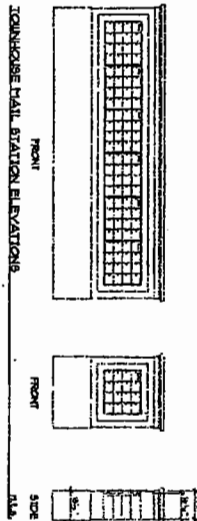
90° PARKING DETAIL - ALA



HANDICAP SIGN - ALA



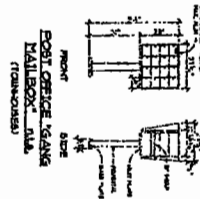
PARALLEL PARKING DETAIL - ALA



TOWNHOUSE HALL STATION ELEVATORS



INDIVIDUAL
MAILBOX - ALA
(SINGLE FAMILY)



POST OFFICE MAILBOX
MAILBOX - ALA
(TOWNHOUSE)

7/15/2005
MAIL & SIGNAGE
REVISION 11/13

SP-2
SHEET

SCALE N.T.S.
DESIGNED BY T.P.
DRAWN BY T.P.
DATE 10/26/04
CADD
CADD

**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

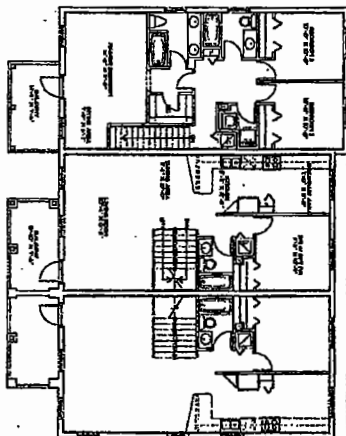
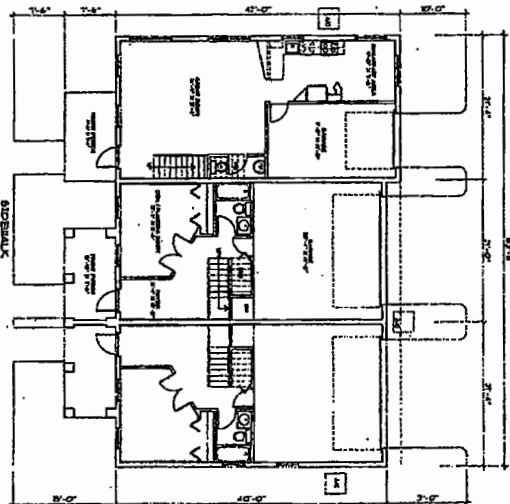
SOTOLONGO ARCHITECTS

SOTOLONGO ARCHITECTS, INC.
10630 NORTHWEST 27TH STREET
DORAL, FLORIDA 33172
TELEPHONE: (305) 593-9726
FAX: (305) 593-0096
CORP. LICENSE AAC000875

| NO. | DATE | BY | REVISION |
|-----|---------|------|-------------------|
| 1 | 7/15/05 | T.P. | ISSUED FOR PERMIT |

| UNIT A | | | |
|---------------|------|--|--|
| AREA SCHEDULE | | | |
| 1ST FLOOR AC | 445 | | |
| 2ND FLOOR AC | 445 | | |
| TOTAL AC | 890 | | |
| COMMON | 77 | | |
| CONCRETE | 77 | | |
| PAVING | 77 | | |
| LANDSCAPE | 77 | | |
| TOTAL | 1043 | | |

| UNIT B | | | |
|---------------|------|-----|-----|
| AREA SCHEDULE | | | |
| 1ST FLOOR AC | 471 | EXT | 471 |
| 2ND FLOOR AC | 471 | EXT | 471 |
| TOTAL AC | 942 | | |
| COMMON | 177 | | |
| CONCRETE | 177 | | |
| PAVING | 177 | | |
| LANDSCAPE | 177 | | |
| TOTAL | 1394 | | |



| | | | | |
|---|--|--|--|---|
| 7/23/2005 MAUL F. SOTOLONGO ARCHITECT, P.A. NO. 1113 | | 10630 NORTHWEST 27TH STREET MIAMI, FLORIDA 33172 TELEPHONE: (305) 593-9798 FAX: (305) 593-0086 CORP. LICENSE: 0002469 | | 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 |
| 7/23/2005 MAUL F. SOTOLONGO ARCHITECT, P.A. NO. 1113 | | 10630 NORTHWEST 27TH STREET MIAMI, FLORIDA 33172 TELEPHONE: (305) 593-9798 FAX: (305) 593-0086 CORP. LICENSE: 0002469 | | 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 |

1. PLANT TULIP PROOF
2. LIGHT TREATED STUDIO
3. 7' X 6' STUDIO BAND
4. 7' X 8' WALLS
5. WOOD DECOGNATIVE COUNTRY
6. WOOD PANELING
7. DECOGNATIVE WOOD BRACKET
8. KEYSTONE PINKER STUDIO
9. CO-LORED STYRENE/STYRENE
10. LIGHT PINK
11. DECOGNATIVE YEST

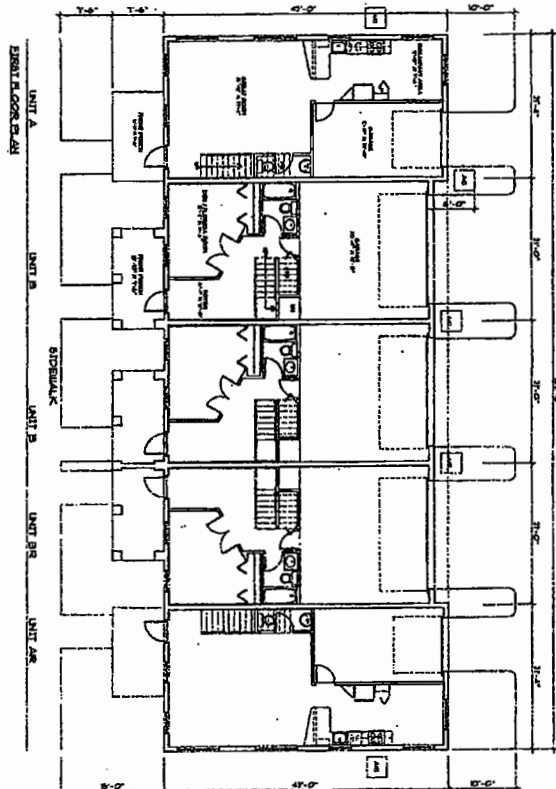
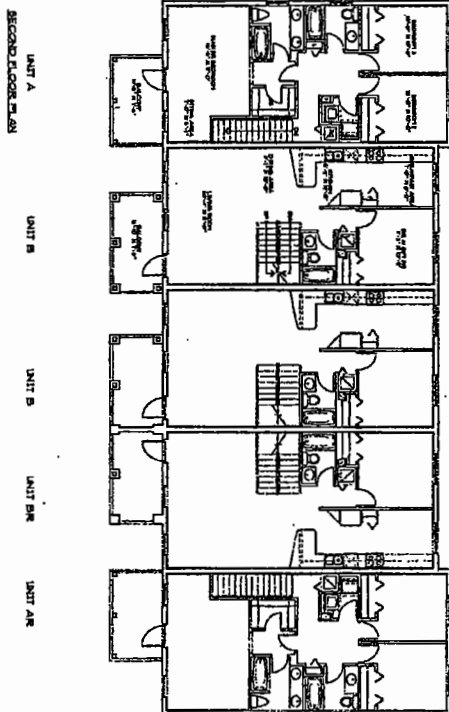


SOTO LONGO ARCHITECTS

TOWNHOUSES

PAUL R. SOTALONGO
REGIST. N° AIC-7 711

| UNIT A | | | |
|--------------|-----|-----|-----|
| AREA SUBJECT | 140 | 140 | 140 |
| 1ST FLOOR AC | 140 | 140 | 140 |
| 2ND FLOOR AC | 140 | 140 | 140 |
| TOTAL AC | 280 | 280 | 280 |
| BASEMENT | 75 | 75 | 75 |
| POREY PORCH | 14 | 14 | 14 |
| POREY PORCH | 14 | 14 | 14 |
| TOTAL | 140 | 140 | 140 |
| UNIT B | | | |
| AREA SUBJECT | 217 | 217 | 217 |
| 1ST FLOOR AC | 217 | 217 | 217 |
| 2ND FLOOR AC | 217 | 217 | 217 |
| TOTAL AC | 434 | 434 | 434 |
| BASEMENT | 108 | 108 | 108 |
| POREY PORCH | 21 | 21 | 21 |
| POREY PORCH | 21 | 21 | 21 |
| TOTAL | 217 | 217 | 217 |



7/22/2005
DATE & SIGNATURE
REVISION # 1007113

A-3
REVISION

TOWNHOUSES
5 UNIT
DATE 12/12/04
DESIGNED BY
DATE 10/28/04
DRAWN BY
DATE 04/07

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

ARCHITECTS
100630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-8795
FAX: (305) 593-0095
CORP. LICENSE 0002489

100630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-8795
FAX: (305) 593-0095
CORP. LICENSE 0002489

| NO. | REVISION |
|-----|----------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

1. FLOOR TALK PROOF
2. LITERARY THEMATIC STIMULI
3. A 1" X 4" STIMULI BOARD
4. 1" X 4" VALUABLE
5. WOOD DECOMPOSITIVE COUNTRY
6. WOOD BUILDING
7. DECOMPOSITIVE WOOD BUILDING
8. RELATIONSHIP WITH STIMULI
9. COVERED STIMULI BOARD
10. LITERARY THEMATIC
11. DECOMPOSITIVE THEMATIC



44'-0" TOP OF PARAPET

[illegible]

TOWNHOUSES

5 UNIT

ORDERED BY

DATE 10/28/04

A-4

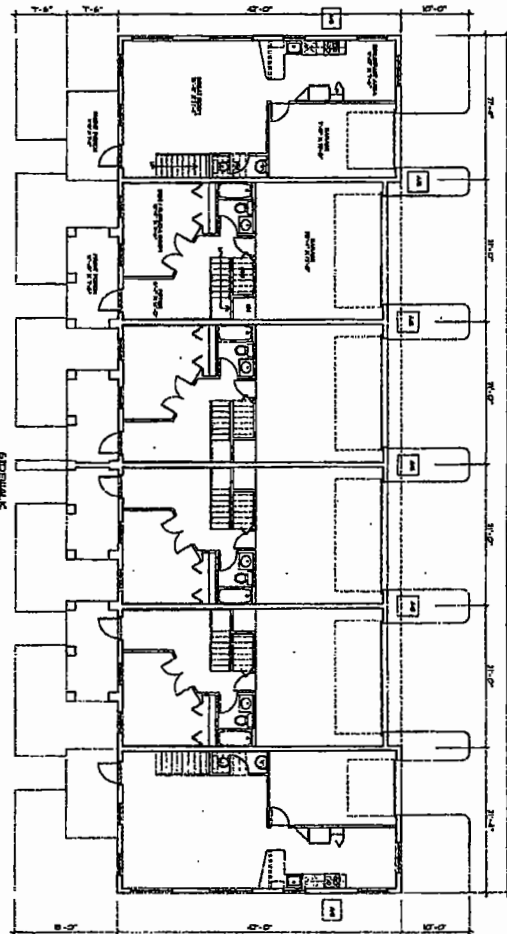
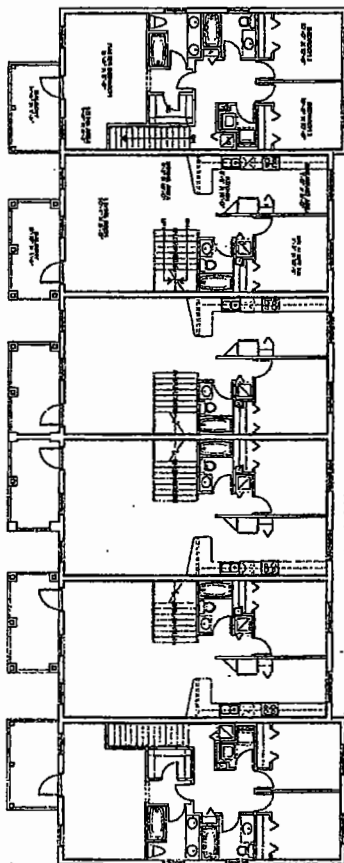
7

2

RALLI IL SOTOLUNGO
REGIST. N° AR-7711

45

| UNIT A | | UNIT B | |
|----------------|-----|----------------|-----|
| AREA BREAKDOWN | | AREA BREAKDOWN | |
| APARTMENT | 400 | APARTMENT | 400 |
| STAIRS | 80 | STAIRS | 80 |
| TOTAL AC | 480 | TOTAL AC | 480 |
| APARTMENT | 220 | APARTMENT | 220 |
| STAIRS | 20 | STAIRS | 20 |
| TOTAL | 240 | TOTAL | 240 |



7/25/2005

UNIT A, SECOND FLOOR

REVISION N° 1/07/13

PALMS OF CORAL REEF

RESIDENTIAL COMMUNITY

MIAMI-DADE COUNTY, FLORIDA

LANDSEA DEVELOPMENTS

10630 NORTHWEST 27TH STREET

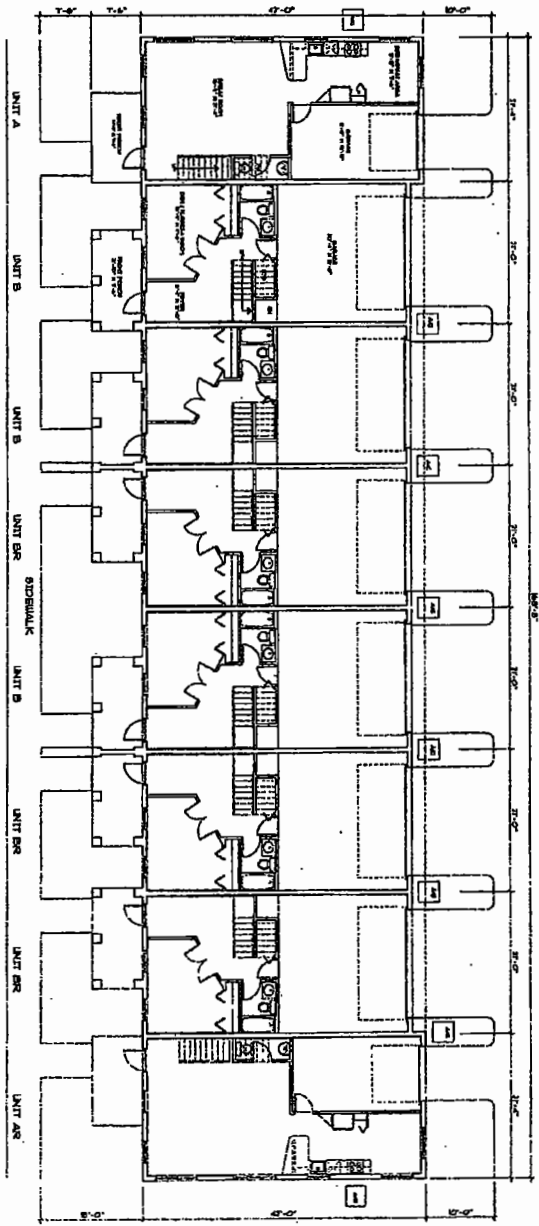
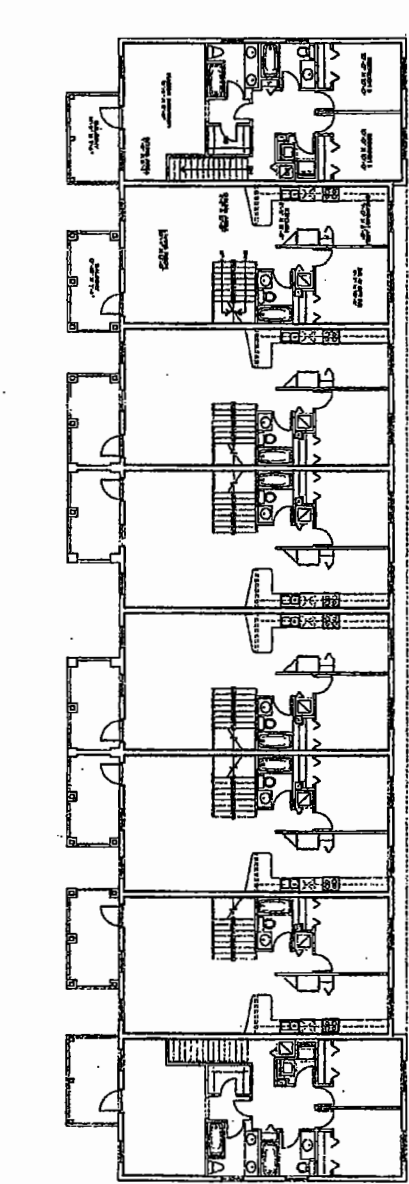
MIAMI, FLORIDA 33172

TELEPHONE: (305) 593-9788

FAX: (305) 593-0096

CORP. LICENSE 0002489

| UNIT A | | | |
|----------------|-----|--|--|
| AREA, BATH | 480 | | |
| 1ST FLOOR, A/C | 480 | | |
| 2ND FLOOR, A/C | 480 | | |
| TOTAL, A/C | 960 | | |
| AREA, BATH | 480 | | |
| 1ST FLOOR, A/C | 480 | | |
| 2ND FLOOR, A/C | 480 | | |
| TOTAL, A/C | 960 | | |
| AREA, BATH | 480 | | |
| 1ST FLOOR, A/C | 480 | | |
| 2ND FLOOR, A/C | 480 | | |
| TOTAL, A/C | 960 | | |
| AREA, BATH | 480 | | |
| 1ST FLOOR, A/C | 480 | | |
| 2ND FLOOR, A/C | 480 | | |
| TOTAL, A/C | 960 | | |



7/27/2005
PAUL R. SOTOLONGO
REGISTERED PROFESSIONAL ARCHITECT

**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

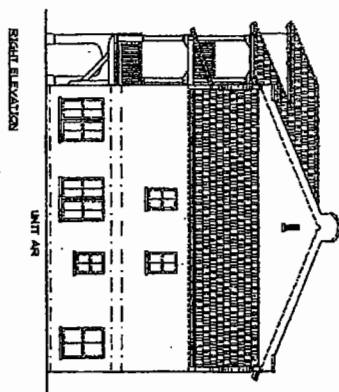
10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE 0002489

8 UNIT
BLOCK 4
SCALE 1/8" = 1'-0"
DATE 10/28/04
SHEET 04/01
OF 04/01

ARCHITECTS
SOTOLONGO

REVISIONS

| | |
|----|--|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |



EXERCISES

1. Let T be the

2. Let T be the

3. Let T be the

4. Let T be the

5. Let T be the

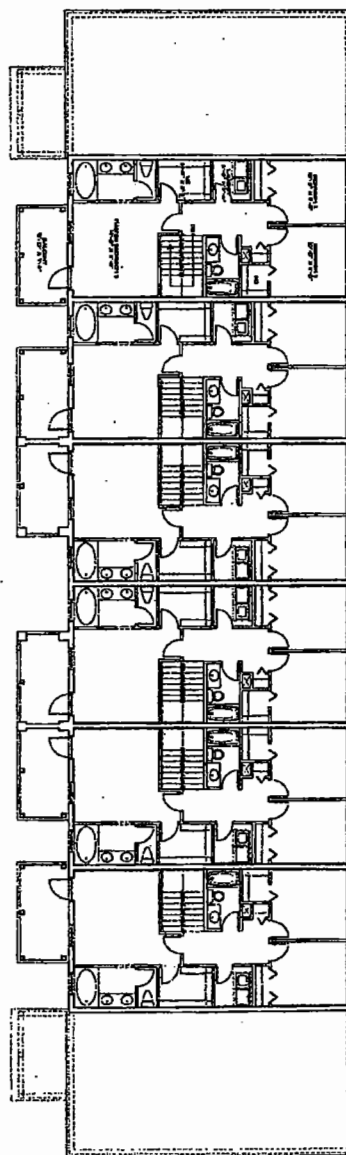
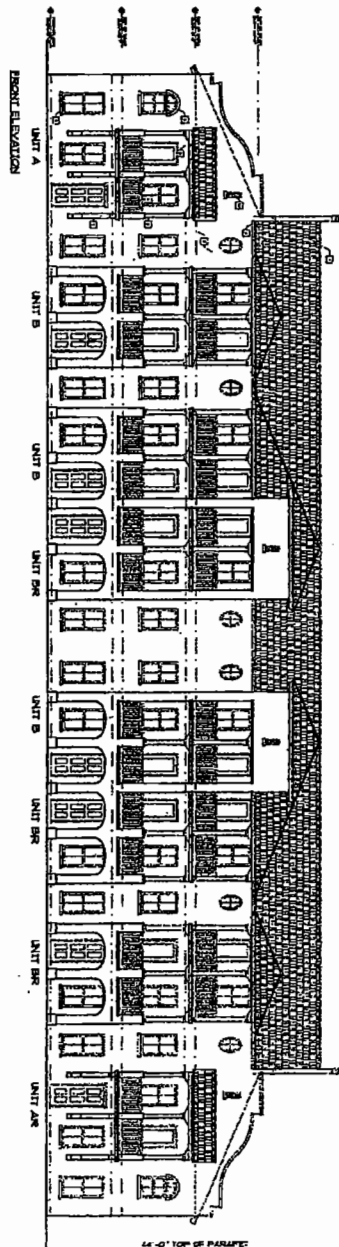
6. Let T be the

7. Let T be the

8. Let T be the

9. Let T be the

10. Let T be the



71152005

| | | | | | | | |
|------------|----------|------------------|------------|----------|---------------|----------|-----------|
| TOWNHOUSES | 8 UNIT | SCALE 1/8"=1'-0" | CHECKED BY | DRAWN BY | DATE 10/28/04 | JOB 0401 | SHEET |
| | BUILD. 4 | | | | | | A-8 |
| | | | | | | | OF SHEETS |

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS



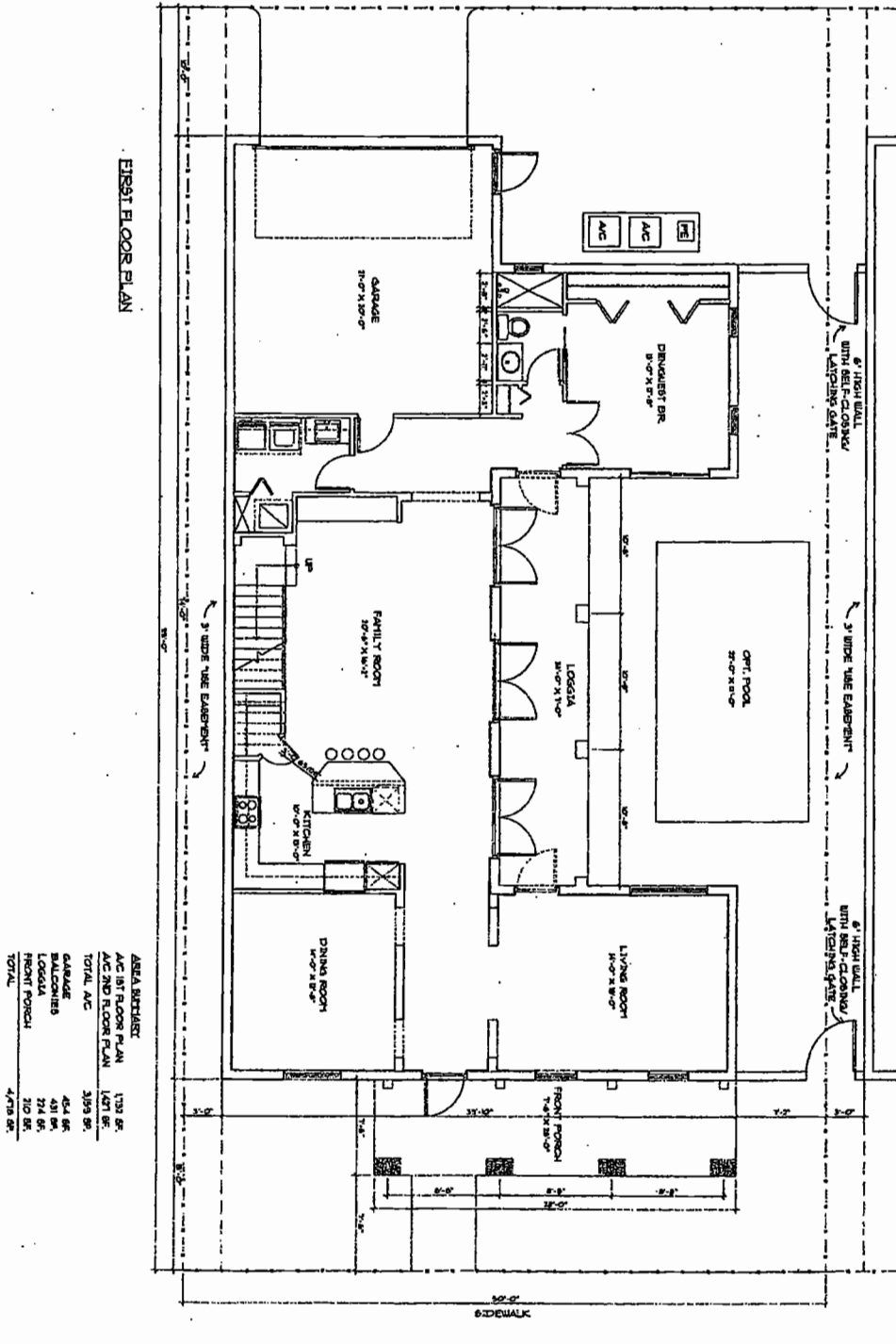
SOTOLONGO

ARCHITECTS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9788
FAX: (305) 593-0090
CORP. LICENSE 0002489

| | |
|--|--|
| | |
| | |
| | |
| | |

FIRST FLOOR PLAN



| AREA SUMMARY | |
|-------------------|--------------|
| AC 1ST FLOOR PLAN | 1733 SQ. FT. |
| AC 2ND FLOOR PLAN | 1427 SQ. FT. |
| TOTAL AC | 3160 SQ. FT. |
| GARAGE | 464 SQ. FT. |
| SCREENED IN PATIO | 464 SQ. FT. |
| LOGGIA | 324 SQ. FT. |
| FRONT PORCH | 310 SQ. FT. |
| TOTAL | 4719 SQ. FT. |

7/15/2005
MILLER, R. SOTOLONGO
DESIGN: 11/20/71

MODEL-A
DATE: 11/20/71
DRAWN BY: J.S.
CHECKED BY: J.S.
DATE: 10/20/04
JOB: 0401
SHEET: A-9

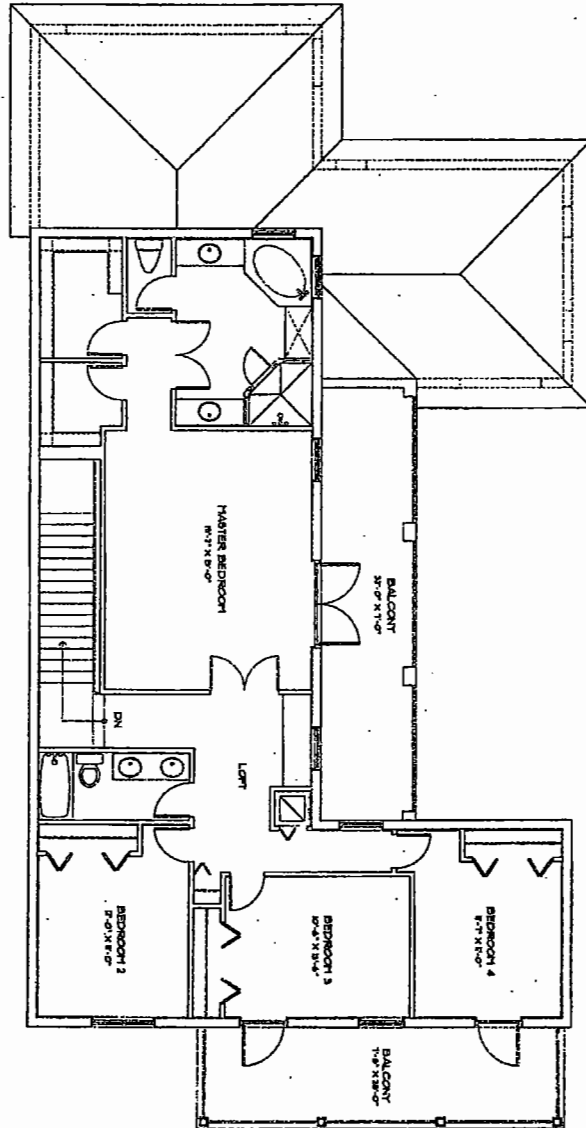
PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

SOTOLONGO
ARCHITECTS

10830 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33177
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE 0002489

| DATE | BY | REVISION |
|----------|------|----------|
| 11/20/71 | J.S. | 1 |
| 10/20/04 | J.S. | 2 |

SECOND FLOOR PLAN



7/15/2005
MADE & SIGNED
BY: [Signature]
DATE: 7/15/05

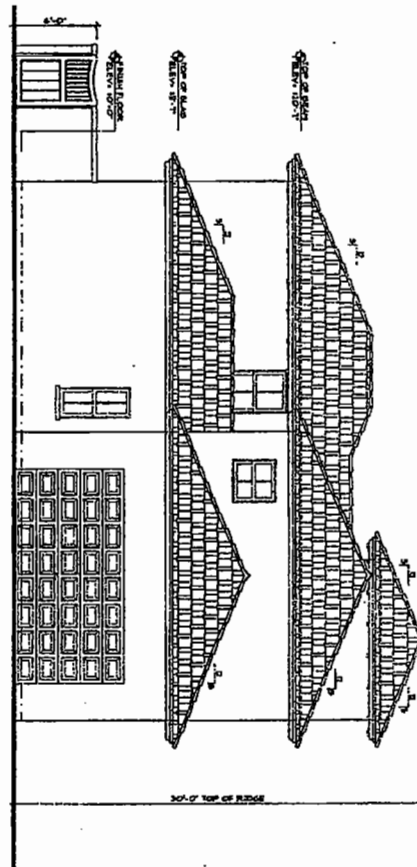
MODEL-A
SCALE 3/8" = 1'-0"
DRAWN BY: A.S.
DATE: 10/26/04
CHECKED BY: C.M.
PROJECT: A-10
SHEET: 10

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

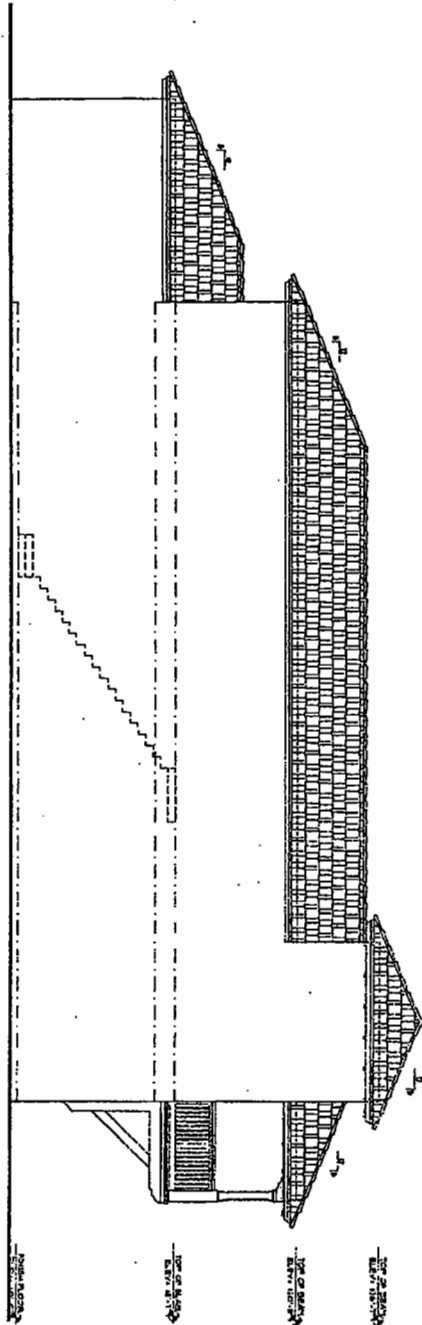
SOTOLONGO
ARCHITECTS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 583-9798
FAX: (305) 593-0098
CORP. LICENSE 0002489

| NO. | REVISION |
|-----|----------|
| | |
| | |
| | |
| | |



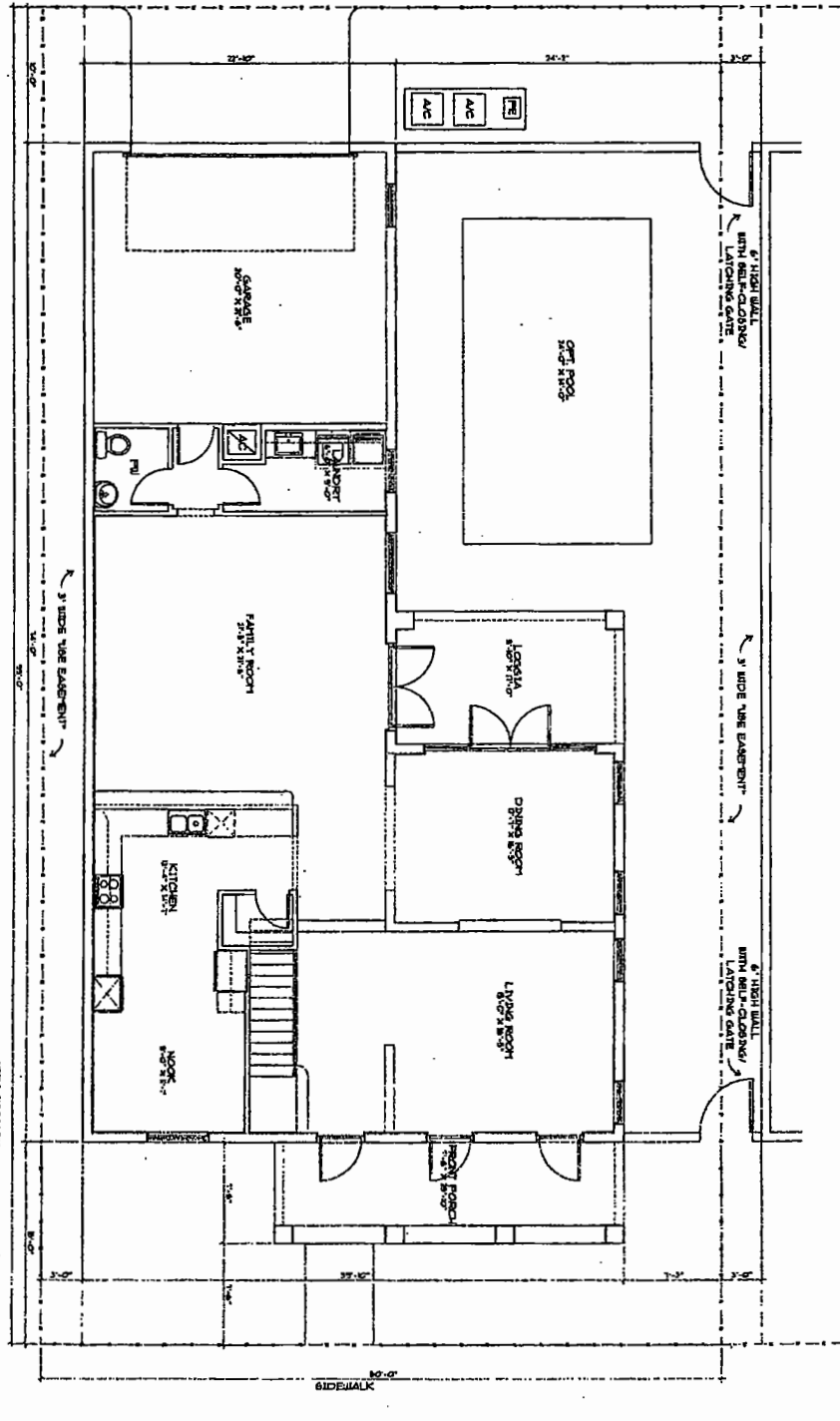
REAR ELEVATION 1/4"



LEFT ELEVATION 1/4"

| <p>7/15/2005</p> <p>MAIL R. SOTOLONGO</p> <p>RECORD: 14-007-112</p> | | <p>10630 NORTHWIS: 27TH STREET</p> <p>MIAMI, FLORIDA 33172</p> <p>TELEPHONE: (305) 553-9755</p> <p>FAX: (305) 593-0086</p> <p>CORP. LICENSE 0002489</p> | | <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | | | 2 | | | 3 | | | 4 | | | 5 | | | 6 | | | 7 | | | 8 | | | 9 | | | 10 | | |
|---|------|---|--|--|-----|------|-------------|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|----|--|--|
| NO. | DATE | DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>MODEL-A</p> <p>MODEL 1/4" x 1'-0"</p> <p>DESIGNED BY</p> <p>DRAWN BY A.S.</p> <p>DATE 10/28/04</p> <p>AND C.A.O.T.</p> <p>SHEET</p> <p>A-12</p> <p>OF 12</p> | | <p>305010000</p> <p>ARCHITECTS</p> <p>305010000</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>PALMS OF CORAL REEF</p> <p>RESIDENTIAL COMMUNITY</p> <p>MIAMI DADE COUNTY, FLORIDA</p> <p>LANDSEA DEVELOPMENTS</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

FIRST FLOOR PLAN



| AREA SCHEDULE | |
|--------------------|-----------|
| A/C 1ST FLOOR PLAN | 123 SF. |
| A/C 2ND FLOOR PLAN | 186 SF. |
| TOTAL A/C | 309 SF. |
| Garage | 472 SF. |
| Front Porch | 64 SF. |
| Back Porch | 64 SF. |
| Bedroom | 64 SF. |
| Bath | 64 SF. |
| Living Room | 64 SF. |
| Dining Room | 64 SF. |
| Kitchen | 64 SF. |
| Family Room | 64 SF. |
| REAR PORCH | 64 SF. |
| TOTAL | 4,389 SF. |

7/13/2005
TALL & TERRY GROUP
PROJECT: 17-1457-113

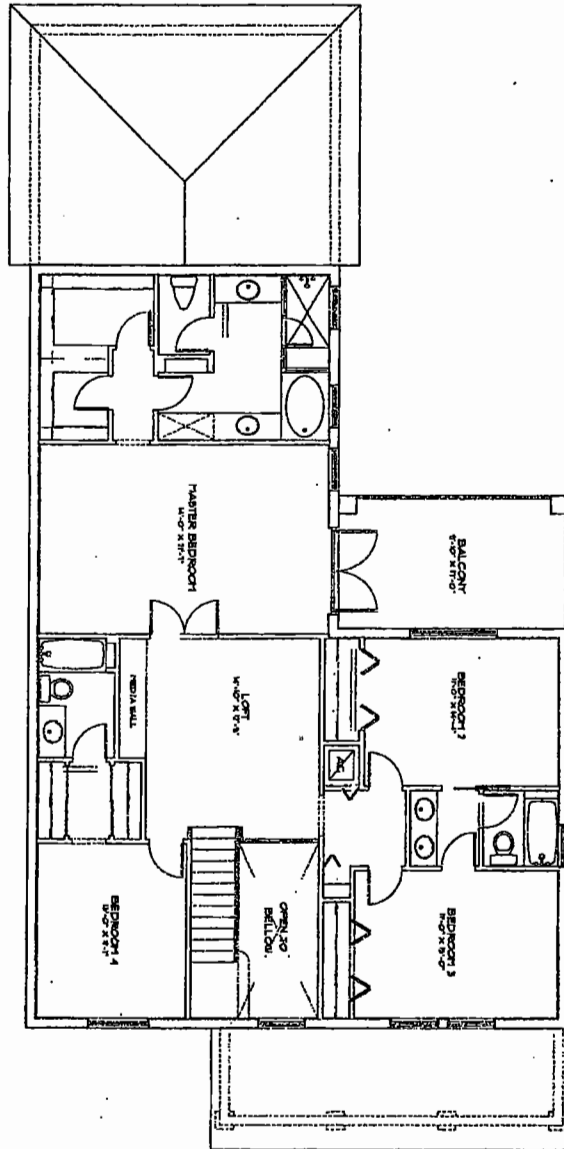
A-13
REVISIONS
DATE: 7/13/2005
BY: T&T
DESCRIPTION: 17-1457-113

**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

SOTOLOGOS ARCHITECTS
10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9736
FAX: (305) 593-0096
CORP. LICENSE 0002489

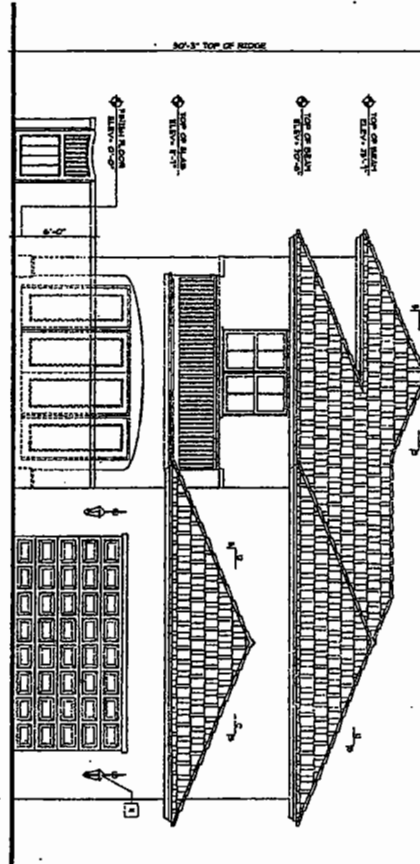
| REVISIONS | BY | DATE |
|-----------|-----|-----------|
| 1 | T&T | 7/13/2005 |
| 2 | T&T | 7/13/2005 |
| 3 | T&T | 7/13/2005 |
| 4 | T&T | 7/13/2005 |
| 5 | T&T | 7/13/2005 |
| 6 | T&T | 7/13/2005 |
| 7 | T&T | 7/13/2005 |
| 8 | T&T | 7/13/2005 |
| 9 | T&T | 7/13/2005 |
| 10 | T&T | 7/13/2005 |

SECOND FLOOR PLAN

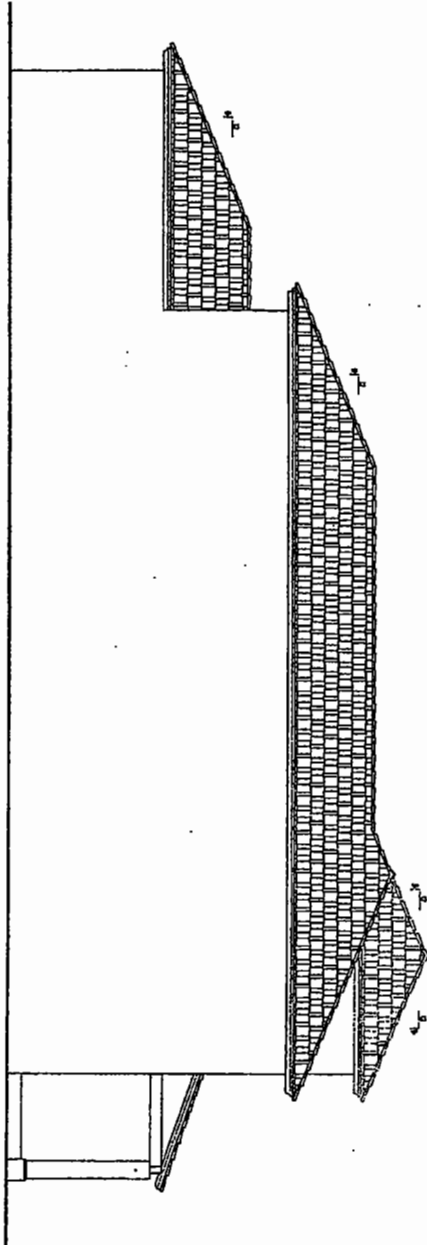


| <p>7/15/2005 PAUL A. SOTOLONGO REGISTERED PROFESSIONAL ARCHITECT</p> | | <p>10630 NORTHWEST 27TH STREET MIAMI, FLORIDA 33172 TELEPHONE: (305) 593-9798 FAX: (305) 593-0098 CORP. LICENSE 0002489</p> | | <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table> | NO. | DESCRIPTION | | | | | | | | |
|---|-------------|---|--|---|-----|-------------|--|--|--|--|--|--|--|--|
| NO. | DESCRIPTION | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | |
| <p>ARCHITECT SOTOLONGO & ASSOCIATES, P.A.</p> | | | | | | | | | | | | | | |
| <p>PROJECT PALMS OF CORAL REEF RESIDENTIAL COMMUNITY MIAMI DADE COUNTY, FLORIDA LANDSEA DEVELOPMENTS</p> | | | | | | | | | | | | | | |
| <p>OWNER SINGLES FAMILY</p> | | | | | | | | | | | | | | |
| <p>MODEL MODEL-B</p> | | | | | | | | | | | | | | |
| <p>SCALE 1/4" = 1'-0"</p> | | | | | | | | | | | | | | |
| <p>DESIGNED BY PAUL A. SOTOLONGO</p> | | | | | | | | | | | | | | |
| <p>CHECKED BY A.S.</p> | | | | | | | | | | | | | | |
| <p>DRAWN BY A.S.</p> | | | | | | | | | | | | | | |
| <p>DATE 07/15/05</p> | | | | | | | | | | | | | | |
| <p>JOB 0401</p> | | | | | | | | | | | | | | |
| <p>PROJECT A-14</p> | | | | | | | | | | | | | | |

REAR ELEVATION 1/4"



LEFT ELEVATION 1/4"



TOP OF ROOF
ELEV. 10'-0"
TOP OF ROOF
ELEV. 10'-0"
TOP OF ROOF
ELEV. 10'-0"
TOP OF ROOF
ELEV. 10'-0"

| | | |
|--|---|--|
| <p>7/13/2005</p> <p>PAUL R. SOTOLONGO</p> <p>ARCHITECT</p> | <p>10630 NORTHWEST 27TH STREET</p> <p>MIAMI, FLORIDA 33172</p> <p>TELEPHONE: (305) 593-9798</p> <p>FAX: (305) 593-0086</p> <p>CORP. LICENSE 0002489</p> | <p>REVISIONS</p> <p>NO.</p> <p>DATE</p> <p>DESCRIPTION</p> |
| | | |
| <p>7/13/2005</p> <p>PAUL R. SOTOLONGO</p> <p>ARCHITECT</p> | <p>10630 NORTHWEST 27TH STREET</p> <p>MIAMI, FLORIDA 33172</p> <p>TELEPHONE: (305) 593-9798</p> <p>FAX: (305) 593-0086</p> <p>CORP. LICENSE 0002489</p> | <p>REVISIONS</p> <p>NO.</p> <p>DATE</p> <p>DESCRIPTION</p> |
| <p>7/13/2005</p> <p>PAUL R. SOTOLONGO</p> <p>ARCHITECT</p> | <p>10630 NORTHWEST 27TH STREET</p> <p>MIAMI, FLORIDA 33172</p> <p>TELEPHONE: (305) 593-9798</p> <p>FAX: (305) 593-0086</p> <p>CORP. LICENSE 0002489</p> | <p>REVISIONS</p> <p>NO.</p> <p>DATE</p> <p>DESCRIPTION</p> |

| | |
|--------------|-----------|
| PROPERTY | NO. OF |
| WATER | NO. OF |
| SHORELINE | NO. OF |
| PORTLAND | NO. OF |
| POULDER TOWN | NO. OF |
| STORAGE 1 | NO. OF |
| STORAGE 2 | NO. OF |
| TOTAL AREA | (SQ. FT.) |

| | |
|-----------------|--------|
| PIRELLA | 80.0% |
| WATSON | 80.0% |
| BAERZLEY | 70.0% |
| PORTICO | 40.0% |
| POULSON TRIMMER | 40.0% |
| STORACE 1 | 40.0% |
| STORACE 2 | 40.0% |
| TOTAL AREA | 320.0% |

1. LEAST TRIMMED BRIDGES
2. PLANT GROWTH TALL ROSES
3. 4-OR HALLS FOR ALPHABET
4. FRESH, VIBRANT LOCATION WITH LANDSCAPE PLAN

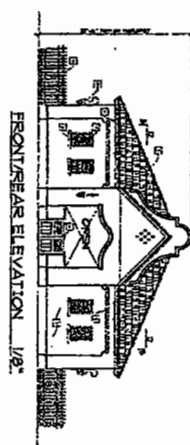
4. 1 X 4 BRICKS IN BRICK BAND

5. OUTDOORS

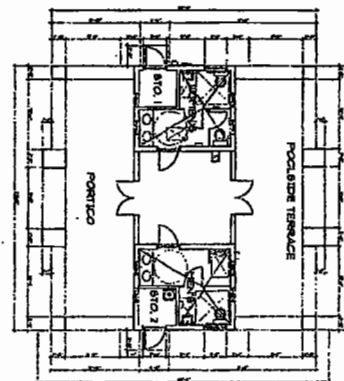
6. DECORATIVE GOOD GATES

7. ALPHABET LAMINATED PANELS

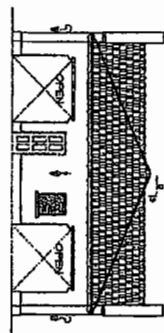
8. LEAST PONDING



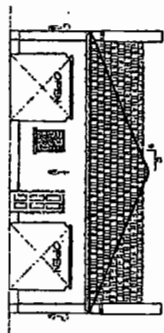
FRONT/REAR ELEVATION 1/8"



FLOOR PLAN 1/8"



RIGHT ELEVATION 1/8"



LEFT ELEVATION 1/8"

CABANA

CABANA

| | | | | | |
|---------------|------------|----------------|---------------|----------|-------|
| SCALE VS-1-C- | CHIEFED BY | ORIGIN BY A.S. | DATE 10/28/64 | JOB 0407 | SHEET |
| A-17 | | | | | |
| OF SHEETS | | | | | |

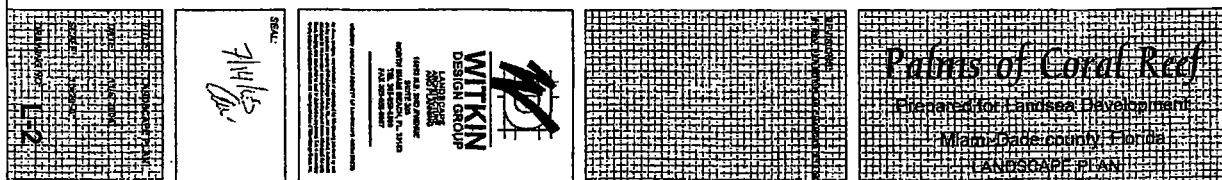
~~A-17~~

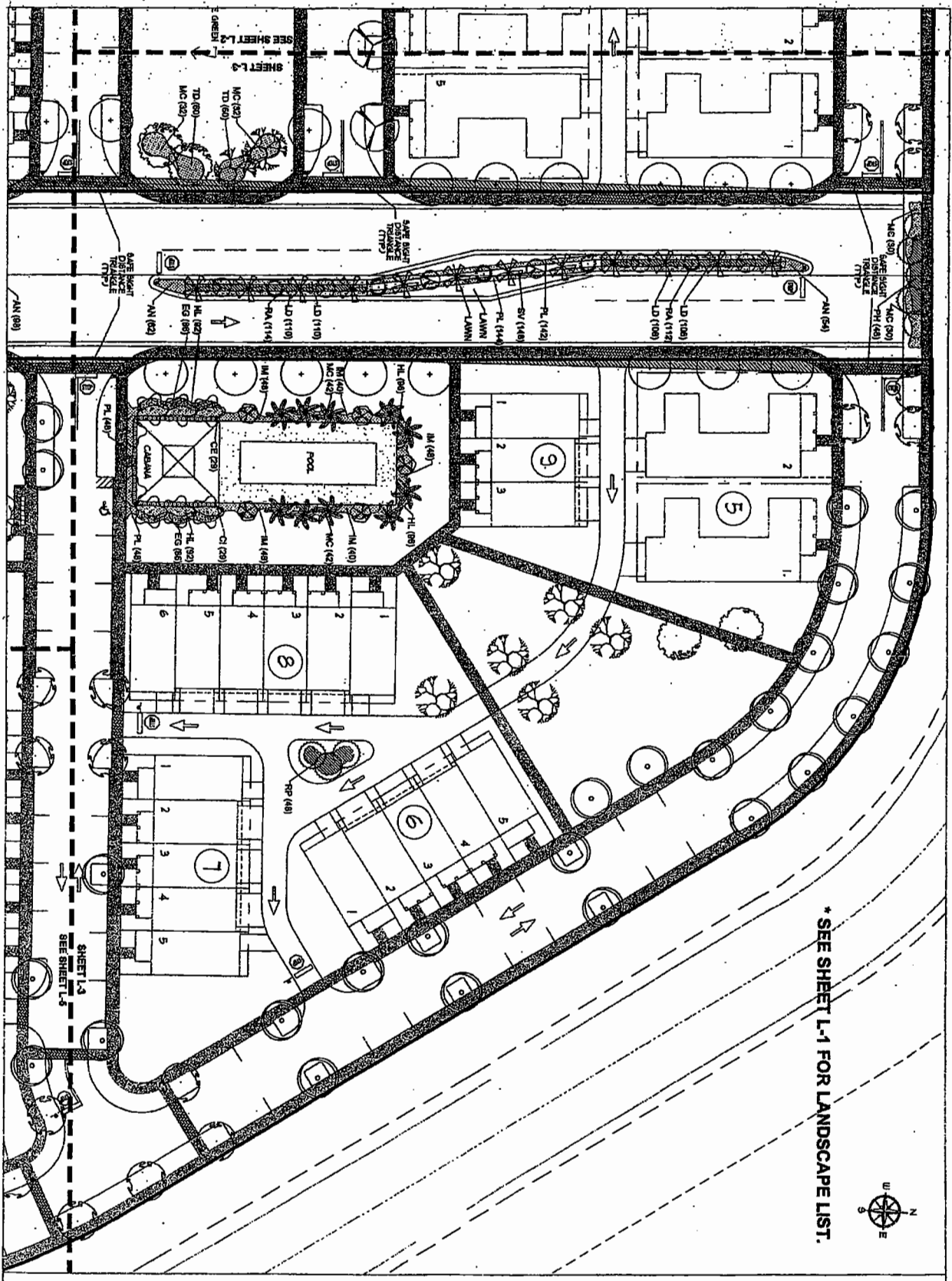
7/15/2005

REC'D ST. N. MAR 7 7 12

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9788
FAX: (305) 593-0095
CORP. LICENSE 0002489

DOUGLAS ARCHITECTS





* SEE SHEET L-1 FOR LANDSCAPE LIST.



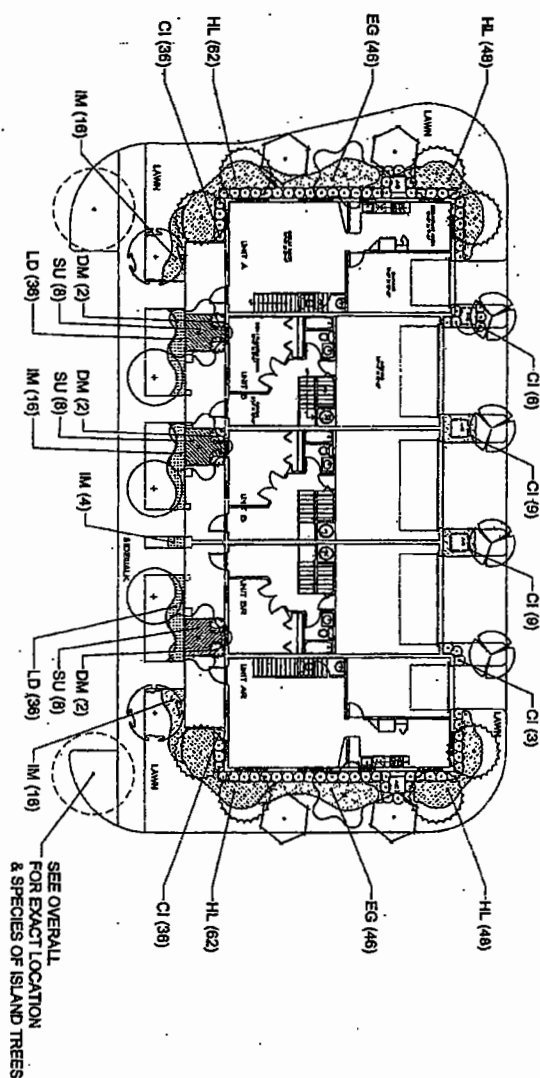
Palms of Coral Reef
 Residential Landscaping Development
 Miami-Dade County, Florida
 LANDSCAPE PLAN



WITKIN
 DESIGN GROUP

LANDSCAPE ARCHITECT
 1300 S.W. 10TH AVENUE
 MIAMI, FL 33135
 (305) 371-1111

4/14/05
[Signature]



• NOTE: TOWNHOMES FRONTING SW 152ND STREET
SHALL EXCLUDE THE GREEN BUTTWOOD AND ORANGE GEIGER TREES.

TYPICAL 5-UNIT LANDSCAPE LIST

| Quantity | Symbol | Plant Name | Quantity | Symbol | Plant Name | Quantity | Symbol | Plant Name |
|----------|--------|--------------------|----------|--------|--------------------|----------|--------|--------------------|
| 4 | ⊗ | Orange geiger tree | 99 | ⊗ | Orange geiger tree | 24 | ⊗ | Orange geiger tree |
| 3 | ⊗ | Orange geiger tree | 8 | ⊗ | Orange geiger tree | 72 | ⊗ | Orange geiger tree |
| 4 | ⊗ | Orange geiger tree | 92 | ⊗ | Orange geiger tree | 52 | ⊗ | Orange geiger tree |
| 2 | ⊗ | Orange geiger tree | 220 | ⊗ | Orange geiger tree | 24 | ⊗ | Orange geiger tree |
| 3 | ⊗ | Orange geiger tree | 52 | ⊗ | Orange geiger tree | 72 | ⊗ | Orange geiger tree |
| 8 | ⊗ | Orange geiger tree | 24 | ⊗ | Orange geiger tree | 52 | ⊗ | Orange geiger tree |

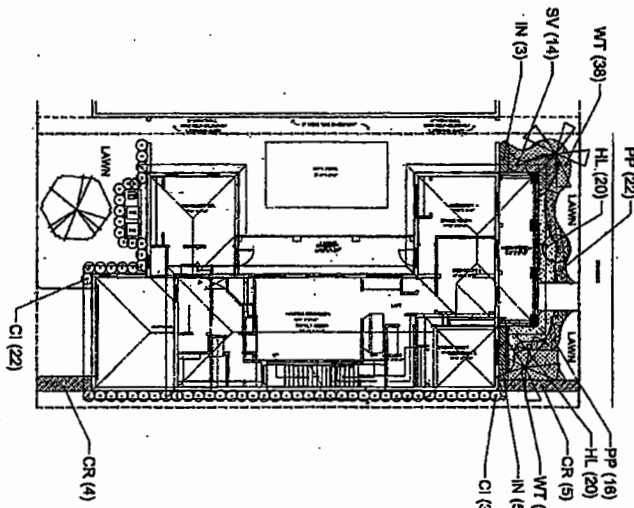
* Indicates Native Species

Palms of Coral Reef
Prepared for Landsea Development
Miami-Dade County, Florida
TYPICAL 5-UNIT TOWNHOUSE LANDSCAPE PLAN

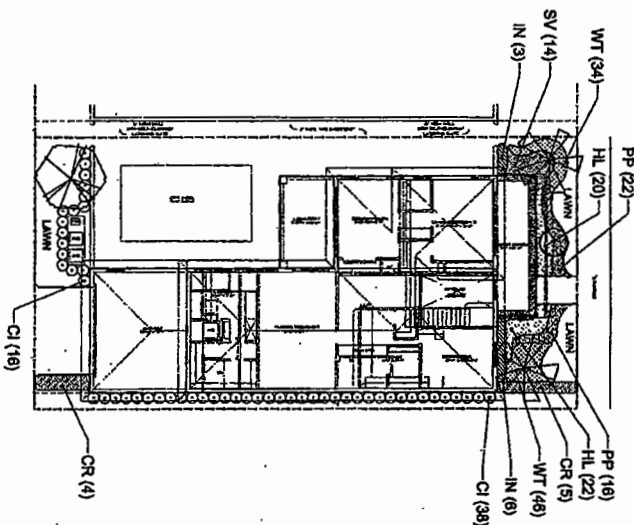
WITKIN
DESIGN GROUP
ARCHITECTS
1100 N.W. 10th Avenue
Suite 1000
Miami, Florida 33136
Tel: 305-581-1100
Fax: 305-581-1101

7/14/05
[Signature]

7/14/05
L-6



SINGLE FAMILY UNIT-A



SINGLE FAMILY UNIT-B

| Quantity | Symbol | Plant Name | Size | Notes |
|----------|---------------------------|--------------------|--------------|----------------|
| 1 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 1 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 2 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |

* Indicates Native Species

| Quantity | Symbol | Plant Name | Size | Notes |
|----------|---------------------------|--------------------|--------------|----------------|
| 80 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 9 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 40 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 8 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 38 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 14 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 84 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 48 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |

| Quantity | Symbol | Plant Name | Size | Notes |
|----------|---------------------------|--------------------|--------------|----------------|
| 2 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 1 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 1 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |

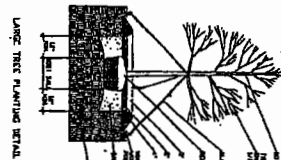
* Indicates Native Species

| Quantity | Symbol | Plant Name | Size | Notes |
|----------|---------------------------|--------------------|--------------|----------------|
| 54 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 9 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 42 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 9 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 38 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 14 | Circle with cross and dot | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 80 | Circle with cross | Large Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |
| 48 | Circle with dot | Small Native Plant | 12" H, 18" W | 1/2" L, 1/2" W |

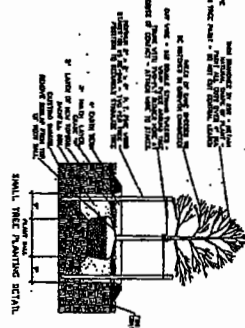
Palms of Coral Reef
 Prepared for Coastal Development
 Miami-Dade County, Florida
 10000 SW 10th Avenue, Suite 100
 Miami, FL 33155

WITKIN
 DESIGN GROUP
 10000 SW 10th Avenue, Suite 100
 Miami, FL 33155
 Tel: 305-555-1234
 Fax: 305-555-5678

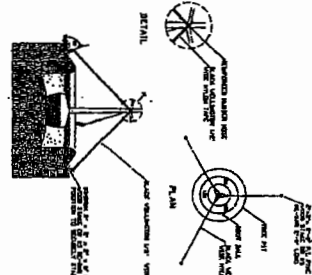
7/11/05
 (Signature)



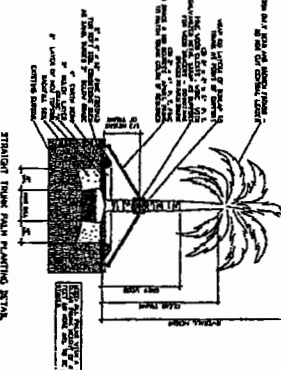
LARGE TREE PLANTING DETAIL



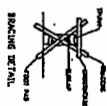
SMALL TREE PLANTING DETAIL



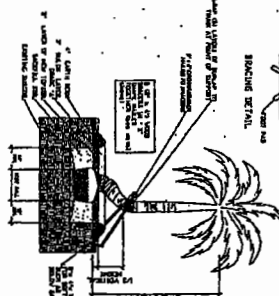
TYPICAL TREE PLANTING DETAIL



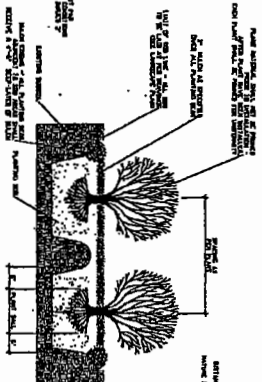
STANDARD TREE PLANTING DETAIL



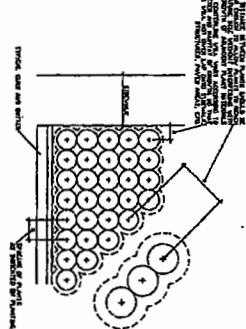
TYPICAL TREE PLANTING DETAIL



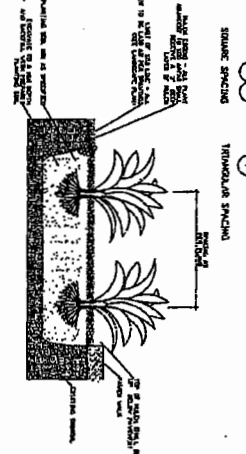
CURVED TREE PLANTING DETAIL



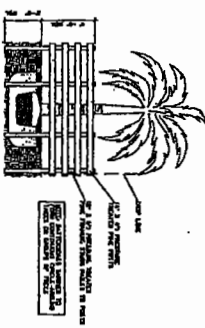
TYPICAL TREE PLANTING DETAIL



TYPICAL CONTAINER SPACING



TYPICAL ISLAND SPACING



SAWTOOTH PROTECTION FOR EXISTING TREES AND PALMS

DESIGN NOTES

1. All trees shall be planted in accordance with the following specifications: a. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches. b. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches. c. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches.

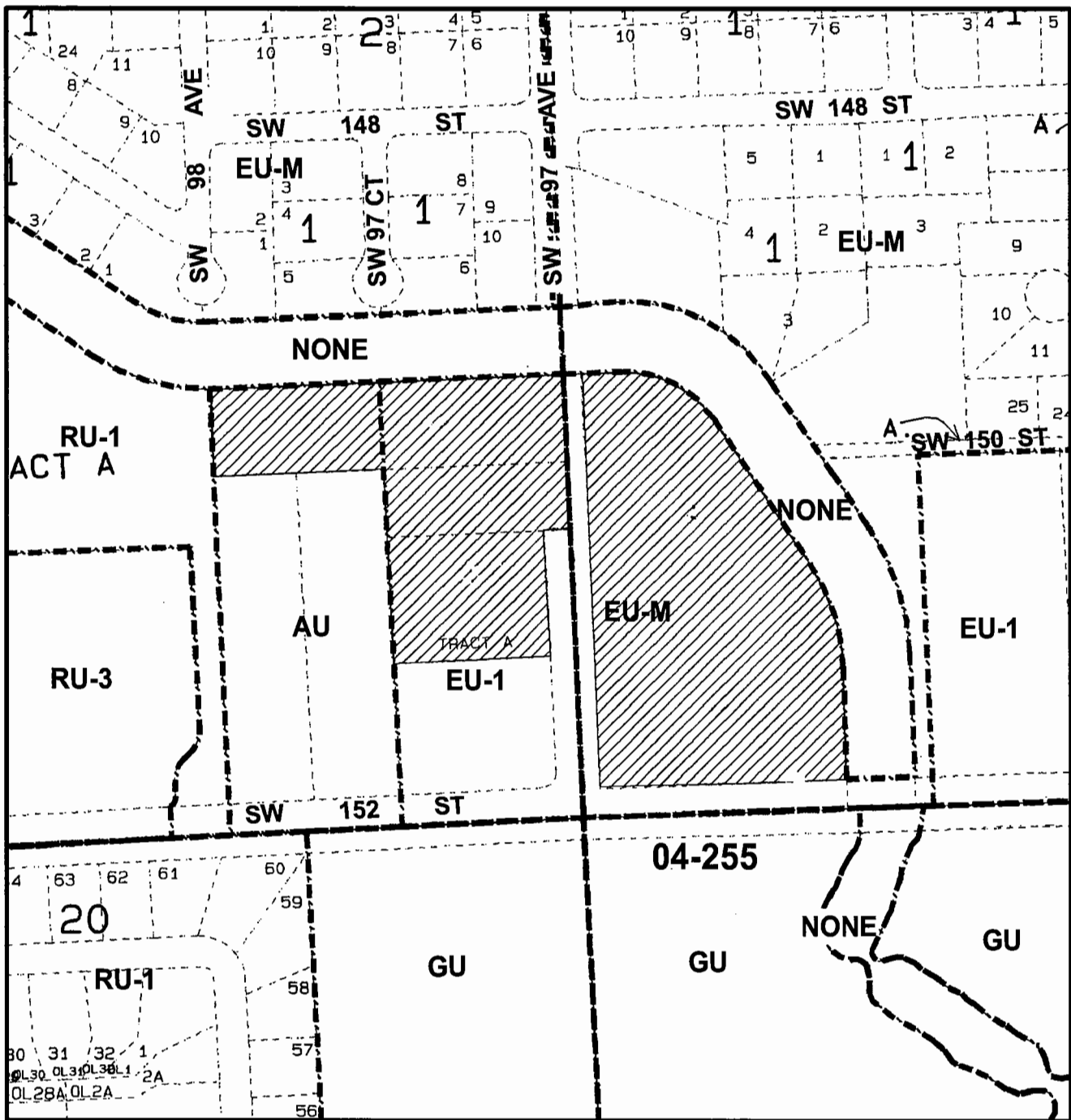
DESIGN NOTES

1. All trees shall be planted in accordance with the following specifications: a. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches. b. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches. c. All trees shall be planted in a planting bed with a minimum width of 12 inches and a minimum depth of 6 inches.

Palms of Coral Reef
Prepared for: Landscaping Development
Miami-Dade County, Florida
LANDSCAPE DETAILS

WITKIN
DESIGN GROUP
ARCHITECTS
1000 N.W. 10th Ave.
Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 561-1111
Fax: (954) 561-1112
www.witkindesign.com

DATE: 10/1/01
DRAWN BY: J. L. B.
CHECKED BY: J. L. B.
SCALE: 1/8" = 1'-0"



MIAMI-DADE COUNTY HEARING MAP

Section: 20,21 Township: 55 Range: 40
 Process Number: 04-255
 Applicant: IRWIN POTASH ET AL
 District Number: 08
 Zoning Board: C14
 Drafter: ALFREDO
 Scale: 1:300'



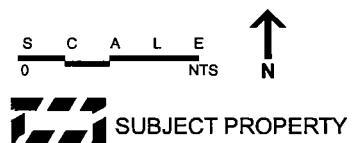
 SUBJECT PROPERTY





MIAMI-DADE COUNTY
AERIAL

Section: 20,21 Township: 55 Range: 40
Process Number: 04-255
Applicant: IRWIN POTASH ET AL
District Number: 08
Zoning Board: C14
Drafter: ALFREDO
Scale: NTS



TEAM METRO

ENFORCEMENT HISTORY

CORAL REEF DRIVE LAND
DEVELOPMENT, LLC F/K/A:
IRWIN POTASH, ET AL

THE NORTH SIDE OF S.W. 152
STREET & LYING EAST AND WEST
OF THEORETICAL S.W. 97
AVENUE, MIAMI-DADE COUNTY,
FLORIDA.

APPLICANT

ADDRESS

Z2004000255

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

Citation # 972805 issued for overgrowth to Irvin Potash and W/ Linda et al, on 10/24/2005. The fine of \$250 was paid on November 22, 2006 and complied with by November 23rd. The case is now closed.

Irvin Potash and W/ Linda et al


NCO. A. Beck

Item #2 04-255

MEMORANDUM

TO: Diane O'Quinn Williams
Director
Planning and Zoning Department

Date: September 6, 2005 Revised
January 23, 2006
Deleted paragraph D Section IV page 2 of 3

FROM: 
Esther L. Calas, P.E.
Director
Public Works Department

Subject: DIC04-255
POTASH Palms of Coral Reef
Sec. 20 & 21 Twp. 55 Rge. 40

Received by
Zoning Agenda Coordinator
JAN 25 2006

I. ANTICIPATED TRAFFIC GENERATION AND CONCURRENCY

- A. Trip Generation
77 PM Peak Hour trip ends
- B. Cardinal Distribution
North 33.0 % East 16.0 %
South 27.0 % West 24.0 %

II. EXISTING ROADWAYS SERVICEABLE TO THIS APPLICATION

- | | | | |
|----|----------------|-----------------------------|-----------------------------|
| A. | Location: | SW 152 nd Street | SW 107 th Avenue |
| B. | Description: | | |
| | No. of lanes: | 4 | 4 |
| | Existing R/W: | 110' | 80' |
| | Classification | Arterial | Arterial |
| | Maintenance: | FDOT | MDC |

III. IMPACT ON EXISTING ROADWAYS:

- A. Concurrency

Station F-1106 located on SW 152 Street w/o US 1 has a maximum capacity of LOS "A" of **4890** vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of **2621** vehicles and **715** vehicles have been assigned to this section of road from previously approved Development Orders. **Station F-1106** with its **3336** PHP and assigned vehicles is at LOS "A". The **37** vehicles generated by this development when combined with the **3336** equals **3373** and LOS "A" where the range of LOS "A" is from **1** to **3490** vehicles.

Station 9728 located on SW 107 Avenue s/o SW 150 Street has a maximum capacity of LOS "D" of **1240** vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of **746** vehicles and **163** vehicles have been assigned to this section of road from previously approved Development Orders. **Station 9728** with its **909** PHP and assigned vehicles is at LOS "C". The **15** vehicles generated by this development when combined with the **909** equals **924** and LOS "C" where the range of LOS "C" is from **761** to **1090** vehicles.

Station F-56 located on SW 152 Street e/o SW 112 Avenue has a maximum capacity of LOS "EE" of 4660 vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of 2482 vehicles and 561 vehicles have been assigned to this section of road from previously approved Development Orders. **Station F-56** with its 3043 PHP and assigned vehicles is at LOS "B". The 25 vehicles generated by this development when combined with the 3043 equals 3068 and LOS "B" where the range of LOS "B" is from 1 to 3120 vehicles.

IV. ADDITIONAL OUTSIDE/INSIDE IMPROVEMENTS REQUIRED FOR THIS DEVELOPMENT

- A. Land must be platted.
- B. Provide guardrail topped with handrail, where sidewalk is provided along the road bordering Canal C-100. Provide guardrail only, where sidewalk is not provided.
- C. Northbound left turn bay on SW 152nd Street shall be according to Public Works standards.
- D. ~~SW 97th Avenue shall continue North across Canal C 100 in order to maintain continuity on the Section line road. However, in order to determine if this request is feasible, a comprehensive traffic Study needs to be performed and evaluated by the Public Works Department. Construct a two lane bridge according to the South Florida Water Management and Miami Dade County Public Works Standards.~~
- E. Construct Urban Driveway at all connections of private roads with public roads.
- F. Provide continuous sidewalk access with appropriate crosswalks to the Village Green from all sections of the development.

V. SITE PLAN CRITIQUE

- A. A Public Works permit is required for construction in the public right of way. Florida Department of Transportation permit is required for construction or connection to State right of way.
- B. Public access must be provided that satisfies the needs for traffic circulation, Fire and Rescue vehicles.
- C. Traffic signals, signs and markings within the development to be reviewed during permitting. PWD reserves the right to require the relocation or elimination of parking spaces that are found to be in conflict with these traffic control devices. Plans shall be reviewed at the Stephen P. Clark Center.
- D. All landscaping, walls, fences, Entrance Features, etc. will be subject to the safe sight distance triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works Manual.
- E. A property owners association or other mechanism or entity acceptable to the Public Works Director will be required for the maintenance of private drives, common areas, lakes, landscaping and walls/fences.
- F. Entrance Features are not reviewed or approved as part of this application.
- G. Contribution for traffic signals may be required at time of Platting.

Page 3 of 3
DIC04-255

This application **meets** the criteria for traffic concurrency for an Initial Development Order. No vehicle trips have been reserved by this application. It will be subject to the payment of road Impact Fees. ~~Impact fee credit may be obtained for the construction of said bridge, upon approval of the Public Works Director.~~

cc: Nicholas Nitti, Development Impact Coordinator
Planning and Zoning Department

Armando E. Hernandez, Special Administrator for Concurrency
Public Works Department

DIC file
Public Works Department

1. IRWIN POTASH ET AL
(Applicant)

05-10-CZ14-1 (04-255)
Area 14/Districts 8 & 9
Hearing Date: 10/17/05

Property Owner (if different from applicant) **Irwin & Linda Potash, Harry & Joan Nateman,**
Lorraine, Hal, and Lorn Leitman,
John and Barbara Mudd, Say of Miami, Inc.

Is there an option to purchase ☒ /lease ☐ the property predicated on the approval of the zoning request? Yes ☒ No ☐

If so, who are the interested parties? Robert J. Shelley et al

Disclosure of interest form attached? Yes ☐ No ☒

Previous Zoning Hearings on the Property:

| <u>Year</u> | <u>Applicant</u> | <u>Request</u> | <u>Board</u> | <u>Decision</u> |
|-------------|------------------------------|--|--------------|-----------------|
| 1947 | E. H. Padgett & Zoning Dept. | Zone change from AU and EU-1 to EU-1B. | CC | Approved |
| 1951 | Zoning Dept. | Zone change from EU-1A to EU-1. | CC | Approved |
| 1960 | Kenneth Foster | Zone change from EU-1 to EU-M. | CC | Approved |

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**DEVELOPMENTAL IMPACT COMMITTEE
RECOMMENDATION TO COMMUNITY ZONING APPEALS BOARD 14**

APPLICANT: Irwin Potash, et al

PH: 04-255

SECTION: 22-55-39

DATE: October 17, 2005

COMMISSION DISTRICT: 11

ITEM NO.: 1

A. INTRODUCTION

o **REQUESTS:**

- (1) AU, EU-1 & EU-M to PAD
- (2) Applicant is requesting to permit 1-way drives 12' in width (14' required).

Upon a demonstration that the applicable standards have been satisfied, approval of request #2 may be considered under §33-311(A)(4)(b) (Non-Use Variance) or (c) (Alternative Non-Use Variance).

Plans are on file and may be examined in the Zoning Department entitled "Palms of Coral Reef," as prepared by Sotolongo Architects, consisting of 20 sheets, dated, signed and sealed 7/15/05 and landscape plans as prepared by Witkin Design Group, consisting of 8 sheets, dated, signed and sealed 7/14/05. Plans may be modified at public hearing.

SUMMARY OF REQUESTS:

The applicant is requesting a zone change from AU, Agricultural District, EU-1, Single-Family One Acre Estate District, and EU-M, Estates Modified District, to PAD, Planned Area Development District, in order to develop an approximately 13.76-acre parcel of land with a single-family and townhouse residential development. The existing vacant property will accommodate 104 new dwelling units consisting of 87 townhouses and 17 single-family residences. In addition to the district boundary change, the applicant is seeking to permit one-way drives 12' in width (14' required).

- o **LOCATION:** The subject property is located north of SW 152 Street and lying east and west of theoretical SW 97 Avenue, Miami-Dade County, Fl.
- o **SIZE:** 13.76 gross acres
- o **IMPACT:**

The proposed rezoning would allow the applicant to provide additional housing in the area, however, said uses would bring additional traffic and activity to the surrounding community and would impact public services.

B. ZONING HEARINGS HISTORY: None.

C. NEIGHBORHOOD CHARACTERISTICS:

| <u>SUBJECT PROPERTY</u> | <u>EXISTING ZONING</u> | <u>EXISTING LAND USE PLAN DESIGNATION</u> |
|-----------------------------|--|--|
| | AU, EU-1 and EU-M; vacant parcels | Low Density Residential, 2.5 to 6 dua (Parcel A - 5.62 acres, west of SW 97 th Avenue) Office/Residential (Parcel B - 8.14 acres, east of SW 97 th Avenue) |
| <u>SURROUNDING PROPERTY</u> | | |
| <u>NORTH</u> | EU-M; single-family residences | Estate Density Residential, 1 to 2.5 dua |
| <u>SOUTH</u> | GU, AU and EU-1; vacant parcels and a golf course | Low Density Residential, 2.5 to 6 dua Parks and Recreation |
| <u>EAST</u> | EU-M and EU-1; canal, single-family residences and a vacant parcel | Low Density Residential, 2.5 to 6 dua Office/Residential |
| <u>WEST</u> | RU-1, AU and EU-1; adult congregate living facility and daycare/pre- school | Low Density Residential, 2.5 to 6 dua |

The subject property is located north of SW 152 Street and on both sides of theoretical SW 97 Avenue. The area southwest of SW 152 Street is predominately developed with single-family residences under the RU-1 zoning district regulations. To the southeast of same is a golf course. To the north is an estate single-family residential community and to the west is a vacant parcel and an adult congregate living facility. A daycare is located immediately to the south of the EU-1 zoned portion of the subject property and Jackson Memorial South Hospital lies one parcel removed to the east.

D. SITE AND BUILDINGS:

| | |
|------------------------------|------------|
| Scale/Utilization of Site: | Acceptable |
| Location of Buildings: | Acceptable |
| Compatibility: | Acceptable |
| Landscape Treatment: | Acceptable |
| Open Space: | Acceptable |
| Buffering: | Acceptable |
| Access: | Acceptable |
| Parking Layout/Circulation: | Acceptable |
| Visibility/Visual Screening: | Acceptable |
| Energy Considerations: | N/A |
| Roof Installations: | N/A |

| | |
|----------------|------------|
| Service Areas: | N/A |
| Signage: | N/A |
| Urban Design: | Acceptable |

E. PERTINENT REQUIREMENTS/STANDARDS:

Section 33-311(F) District Boundary Changes

In evaluating an application for a **district boundary change**, the Board shall take into consideration, among other factors the extent to which the development permitted by the application if granted:

- (1) Conform to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;
- (2) Will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;
- (3) Will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;
- (4) Will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;
- (5) Will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

Section 33-311 (A)(4)(b). Non-Use Variances From Other Than Airport Regulations: Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

Section 33-311(A)(4)(c) Alternative Non-Use Variance Standard. Upon appeal or direct application in specific cases to hear and grant applications from the terms of the zoning and subdivision regulations for non-use variances for setbacks, minimum lot area, frontage and depth, maximum lot coverage and maximum structure height, the Board (following a public hearing) may grant a non-use variance for these items, upon a showing by the applicant that the variance will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions thereof will result in unnecessary hardship, and so the spirit of the regulations shall be

observed and substantial justice done; provided, that the non-use variance will be in harmony with the general purpose and intent of the regulation, and that the same is the minimum non-use variance that will permit the reasonable use of the premises; and further provided, no non-use variance from any airport zoning regulation shall be granted under this subsection.

Section 33-314 of the Code of Miami-Dade County:

(C) The County Commission shall have jurisdiction to directly hear other applications as follows:

- (12) Hear application for and, upon recommendation of the Developmental Impact Committee, grant or deny those special exceptions for public charter school facilities permitted by the regulations only upon approval after public hearing, provided the applied for special exception, in the opinion of the Board of County Commissioners, is found to be in compliance with the standards contained in Article XI and Section 33-311 (A)(3) of this code.

F. NEIGHBORHOOD SERVICES:

| | |
|---------------------|------------------------|
| DERM | No objection |
| Public Works | No objection |
| Parks | No objection |
| MDTA | No objection |
| Fire Rescue | No objection |
| Police | No objection |
| Schools | See Exhibit 'A' |
| Planning and Zoning | No objection |

G. RECOMMENDATION:

Approval of the district boundary change to PAD subject to the Board's acceptance of the proffered covenant. Said approval does not include the construction of a two-lane bridge for the extension of SW 97 Avenue across Canal C-100 as recommended by the Public Works Department. The proffered covenant provides that development of the subject site be substantially in accordance with the submitted site plan; that the maximum number of dwelling units on the property be 104; and that development of the property is projected to commence within 4 months of the approval of the plat. Said agreement also provides additional quantitative data regarding number of bedrooms, building coverage, open space, residential density, nonresidential construction, private roads and private areas, and population projection.

Approval with conditions of request #2.

The Executive Council is of the opinion that the proposed zone change will be in keeping with the Comprehensive Development Master Plan (CDMP) Low Density Residential and Office/Residential designations for the subject parcel. When taking into consideration the reasonableness of the applied for rezoning in relation to the present and future development of the area, the Executive Council finds that the zone change request will permit a residential development which is **consistent** with the CDMP, and will not be contrary to the public interest. The Council also finds that the proposed development will also be **compatible** with the development trend in the surrounding area.

PROJECT DESCRIPTION

Submitted plans depict an irregularly-shaped parcel bounded by a 130' wide canal (Canal C-100) lying all along the north and east sides of the subject property, SW 152 Street to the south, and a home for the aged and vacant parcels to the west. One entrance into the development is provided on theoretical SW 97 Avenue from SW 152 Street. Vehicles or pedestrians entering the site encounter 3 "greens" located in the central portion of the property on the east and west sides of a median fitted 80' wide SW 97 Avenue. Parcel A is located on the west side of SW 97 Avenue, and Parcel B is located on the east side. Parcel A will be developed with a total of 29 units consisting of 14 townhouse residences and 15 single-family detached residences proposed on the southern portion of Parcel A. Plans indicate a 15,300 sq. ft. village green perpendicular to SW 97 Avenue which acts as a buffer and a transitional green area between the townhouse building type residences and the detached single-family residences. An additional open area (5,931 sq. ft.) is located west of 4 proposed single-family residences planned to front the aforementioned 15,300 sq. ft. green. This open space also provides an added amenity for the residents. This parcel is accessible by three (3) two-way drives and one (1) one-way 12' wide drive into the detached single-family residences. Parcel B will consist of 73 townhouse residences and 2 single-family detached residences. In addition to having a village green (16,000 sq. ft.), this parcel also contains a recreational facility consisting of a pool and cabana fronting SW 97 Avenue, a tot lot immediately to the northeast (3,937 sq. ft.) and an additional village green area (7,820 sq. ft.) further to the northeast of the tot lot which separates the townhouse building type residences from the detached single-family residences. This parcel is accessible by four (4) separate two-way drive entrances. All of the required parking spaces for the townhouse style buildings will be located parallel to residences and at the rear of the units. Parking for the detached single-family residences is provided on each site utilizing garages. Additional parallel parking for residents and visitors is provided along the canal. Brick-paved walkways are located along the front of both the townhouse building types, detached single-family residences, the canal and along both sides of SW 97 Avenue. The pavers will be used to define the proposed system of pedestrian circulation and to enhance the aesthetics of the development. The townhouse building type residences are 44' high and consist of two and three story units, incorporating a modified Mediterranean style. The two-story townhouse units (3 bedroom/1 car garage) are placed at the ends of the block and the three-story units (4 bedroom/2 car garage) are placed in between. The townhomes incorporate front porches and balconies. The detached single-family residences are 30' high and do not exceed 2 stories (4 or 5 bedrooms and 2 car garages). Four foot high hedges are proposed along lot lines to provide privacy between units. Landscaping in the form of trees, palms and shrubs will be provided throughout the site, with planting emphasis placed where the site adjoins SW 152 Street in order to help buffer the development from the impact generated by the noise of traffic from said right-of-way.

COMMENTS AND MAJOR CONCERNS

Section 33-303.1(D)(7) of the Code of Miami-Dade County charges the Developmental Impact Committee (DIC) to address applications with respect to: (I) conformance with all applicable plans; (II) environmental impact; (III) impact on the economy; (IV) impact on essential services; and (V) impact on public transportation facilities and accessibility. This application is before the Developmental Impact Committee because the proposed project is a planned area development per section 33-303.1(D)(7)(a)7 of the Miami-Dade County Code.

The following comments address these specific charges with regard to the subject application:

I. CONFORMANCE WITH ALL APPLICABLE PLANS

A. APPLICABLE PROVISIONS OF THE COMPREHENSIVE DEVELOPMENT MASTER PLAN

Land Use Objective 5

Upon the adoption of this plan, all public and private activities regarding the use, development and redevelopment of land and the provision of urban services and infrastructure shall be consistent with the goal, objectives and policies of this Element, with the adopted Population Estimates and Projections, and with the future uses provided by the adopted Land Use Plan (LUP) map and accompanying text titled "Interpretation of the Land Use Plan Map", as balanced with the Goals, Objectives and Policies of all Elements of the Comprehensive Plan.

Land Use Element Goal

Provide the best possible distribution of land use and services to meet the physical, social, cultural, and economic needs of the present and future populations in a timely and efficient manner that will maintain or improve the quality of the natural and man-made environment and amenities, and preserve Miami-Dade County's unique agricultural lands.

Land Use Policy 5B

All development orders authorizing a new land use or development, or redevelopment, or significant expansion of an existing use shall be contingent upon an affirmative finding that the development or use conforms to, and is consistent with the goals, objectives and policies of the CDMP including the adopted LUP map and accompanying "Interpretation of the Land Use Plan Map". The Director of the Department of Planning and Zoning shall be the principal administrative interpreter of the CDMP.

Land Use Policy 2A

All development orders authorizing new, or significant expansion of existing, urban land uses shall be contingent upon the provision of services at or above the Level of Service (LOS) standards specified in the Capital Improvements Element (CIE).

Land Use Policy 9M

Miami-Dade County shall develop an urban design manual establishing design guidelines. This manual shall provide additional criteria for use in review of all new residential, commercial and industrial development in unincorporated Miami-Dade County.

The Adopted 2005 and 2015 Land Use Plan designates the subject property as being within the Urban Development Boundary for **Low Density Residential**.

Low Density Residential

The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. This density category is generally characterized by single-family housing, e.g., single-family detached, cluster, zero-lot-line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.

Office/Residential

Residential uses are also allowed in the Office/Residential category. In these locations, residential density may be approved up to one density category higher than that allowed in the adjoining or adjacent residentially designated area on the same side of the abutting principal roadway, or up to the density of existing adjoining or adjacent residential development, or zoning if the adjacent or adjoining land is undeveloped whichever is higher. If there is no adjacent or adjoining residential development existing, zoned or designated on the same side of the abutting principal roadway, then the allowable maximum residential density shall be based on that which exists or which the plan allows across the roadway. Where there is no residential use, zoning or designation on either side of the roadway, the intensity of residential development, including height, bulk and floor area ratio shall be no greater than that which would be permitted for an exclusively office use of the site. When residential uses are mixed with office uses, the overall scale and intensity, including height and floor area ratio of the mixed-use development shall be no greater than that which would be approved if the parcel was developed in either office use only or residential use only, whichever is higher. Within the Office/Residential category, business uses ancillary and to serve the on-site use(s) may be integrated in an amount not to exceed 15 percent of the total floor area. However, the Office/Residential category does not authorize other business or commercial uses.

DEPARTMENT OF PLANNING AND ZONING DIRECTOR'S EVALUATION

The applicant, Irwin Potash, et al, is requesting a zone change from AU, Agricultural District, EU-1, Single-Family One Acre Estate District, and EU-M, Estate Modified Residential District, to PAD, Planned Area Development District, on a 13.76-acre vacant parcel located on the north side of S.W. 152 Street and on both sides of S.W. 97 Avenue. The proposed Planned Area Development will consist of 104 residential units made up 2-story single-family residences and 3-story townhouse building types. In conjunction with the district boundary change, the applicant is seeking to permit one-way drives 12' in width where 14' is required. Single-family estate residences exist to the north, across Canal C-100. To the south, there is a vacant parcel, a daycare/preschool, estate single-family residences and a golf course; an adult congregate living facility is located to the west; and a hospital lies to the east.

The Department of Environmental Resources Management (DERM) offers **no objections** to this application and has indicated that it meets the minimum requirements as set forth in Chapter 24 of the Code of Miami-Dade County. Since public water and public sanitary sewers can be made available to this property, DERM will require that the applicant connect to the water supply and the public sanitary sewer system. Any work within the canal or its right-of-way requires approval by the South Florida Water Management District (SFWMD). The **Police Department** offers **no objections** to this application and indicates in their memorandum for this hearing that police services are currently provided by the Kendall District (Police District 5). Based upon a district wide statistical analysis, the average emergency response time is 4.2 minutes (includes dispatch time and travel). The **Public Works Department does not object** to this application as it pertains to the development of the property in accordance with the submitted site plan, and states in their memorandum for this hearing that the land must be platted and that all Section and half Section line roads shall include all elements indicated in the Public Works Department's standard details. This application meets the criteria for traffic concurrency for an Initial Development Order. No vehicle trips have been reserved by this application and it will be subject to the payment of road impact fees. In addition, the Public Works Department will require that the developer extend SW 97 Avenue across Canal C-100. The **Miami-Dade Water and Sewer Department does not object** to this application and indicates in their memorandum for this hearing that the applicant must connect to an existing

16-in. w.m. stub-out located at SW 152 St. and the SW corner of the property, and extend a 16-in. same to the SE corner of the property. Any public w.m. extension within the property shall be 8-in. in diameter with 2 points of connection and the system shall be looped, in order to avoid dead end mains. Further sewer connections must be made available. A public sewage station is required which must be connected to an existing 12-in. F.M. located at SW 152 St. E/O SW 102 Ave. The **Fire Department** offers **no objections** to this application and indicates in their memorandum that this project is expected to generate approximately 33 fire and rescue calls annually. The desired travel time to such a project is 5 minutes for the first-in unit. However, response times range between 4 and 10 minutes depending on the station's distance from the proposal. Fire Water and Engineering has reviewed and approved the submitted plan; but any substantial changes to this plan must be reviewed by Fire Water and Engineering. The Department of **Solid Waste Management (DSWM)** **does not object** to this project as well. This project falls within the DSWM solid waste collection service area. Residences proposed for inclusion in this project meet the County Code definition of residential unit. Per the Code, residential units located within the project shall, therefore, receive DSWM garbage and trash collection service. Twice weekly individual curbside garbage and trash collection, scheduled bulky waste collections service, and unlimited use of the Trash and Recycling Centers are the services currently provided to residential units in the DSWM solid waste collection service area. Currently, DSWM provides curbside recycling services to residential units located in the unincorporated area of Miami-Dade County. The **Parks and Recreation Department** **does not object** to this application and has accepted the submitted site plan indicating 2 open space areas (labeled Village Green), a tot lot area, and a pool for use by the residents of this development. **Miami-Dade County Public Schools (MDCPS)** has indicated that the proposed zoning will bring an additional 36 students into the area's public schools. They indicate that Colonial Drive Elementary, Richmond Heights Middle, and Miami Killian Senior High as the schools that will be impacted by this development, which are currently operating at 74%, 113% and 158% respectively of FISH (Florida Inventory of School Houses) utilization. Their memorandum indicates that the applicant has voluntarily proffered a monetary donation, over and above impact fees. The payment will provide the full capital cost of student stations for the additional students generated by the proposed development. The proffered monetary donation is subject to the School Board's approval.

The Comprehensive Development Master Plan (CDMP) designates Parcel A (5.62 acres, west of SW 97th Avenue) as Low Density Residential and Parcel B (8.14 acres, east of SW 97th Avenue) as Office/Residential. The Low Density Residential category authorizes densities from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre, for a maximum of 33 units on Parcel A. The applicant is proposing a total of 29 single-family residential units for Parcel A. The Office/Residential category allows residential density up to one density category higher than that allowed in the adjoining or adjacent residentially designated area on the same side of the abutting principal roadway, or up to the density of existing adjoining or adjacent residential development, or zoning if the adjacent or adjoining land is undeveloped whichever is higher. Since the adjacent LUP map category is low density residential one density category higher than that allowed in the adjacent residential area would be the Low Medium Density Residential category, which allows a density at a minimum of 6 to a maximum of 13 units per acre, for a total of 105 units on Parcel B. The submitted plans propose 75 units on said parcel. The CDMP permits a total of 138 units on the subject property (Parcels A and B). As such, the Planned Area Development District, with the proposed density of 104 units is **consistent** with the maximum numerical threshold permitted by the Land Use Plan map. Staff is of the opinion that the proposed development consisting of 2-story single-family residences and the 3-story townhouse type buildings is **compatible** with surrounding development. The proposed single-family residences will be located across from estate single-family residences on the north side of the canal.

When considering district boundary changes the Board shall hear and grant or deny applications by taking into consideration if the proposed development will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts, the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment, and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development. The Board shall consider if the development will have a favorable or unfavorable impact on the economy of Miami-Dade County, if it will efficiently or unduly burden water, sewer, solid waste disposal, recreation, education, public transportation facilities which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways. The applicant is seeking approval for a district boundary change from AU, Agricultural District, EU-1, Estate Single-Family Residential District, and EU-M, Estate Modified Residential District, to PAD, Planned Area Development District, incorporating a mixture of detached single-family residences and townhouse building types within a well-designed community having a number of recreational amenities and green areas. The approval of this application would help to address the housing needs in this area of Miami-Dade County by promoting the redevelopment of a vacant site, all in accordance with the County's adopted Urban Design Manual. Proposed building types are designed with well-articulated facades using plentiful fenestration and Mediterranean architectural motifs. Parking is relegated to the rear of buildings or is completely camouflaged from streets or the surrounding community view by the proposed residential development. The proposed development is easily accessible from SW 152 Street. Architecture and landscape architectural elements are used to create a project that is compatible with its surroundings and visually impact, in a positive manner, the SW 152 Street section line road. The applicant has proffered a covenant tying the development of the site to the plans submitted and limiting the density of the site to the proposed 104 units. In addition, the covenant provides a development schedule and quantitative data for the proposed PAD as required by Section 33-284.26(B)(1) of the Zoning Code. As such, staff recommends approval of request #1 subject to the Board's acceptance of the proffered covenant.

When request #2 is analyzed under Section 33-311(A)(4)(b), the Non-Use Variance Standards, staff is of the opinion that to permit one-way drives 12' in width, where 14' is required, will not detrimentally impact the project. Only local traffic reaching residential units will utilize the proposed network of 12' wide drives. Most of the traffic will utilize the proposed 2-way drive network on all parcels which can be used to reach all areas of the site, residences, green areas and amenities. Further, the proposed 12' wide drives only occur at the rear of 9 single-family residences and 4 townhouse-type building blocks. The majority of the units will be accessible by 2-way drives from the rear.

When analyzed under the Alternative Non-Use (ANUV) Standard Section 33-311 (A)(4)(c), the applicant would have to prove that request #2 is due to an unnecessary hardship and that, should said request not be granted, such denial would not permit the reasonable use of the premises. However, since this property can be developed under the RU-1 zoning standards, staff is of the opinion that request #2 cannot be approved under the alternative non-use variance standard.

RECOMMENDATION: Approval of the district boundary change to PAD, subject to the Board's acceptance of the proffered covenant; approval with conditions of request #2 under Section 33-311(A)(4)(b)(NUV), and denial without prejudice of request #2 under Section 33-311 (A)(4)(c)(ANUV).

B. MULTI-YEAR CAPITAL IMPROVEMENTS PROGRAM

The General Services Administration Department has reviewed this application with respect to its compatibility with the County's current Capital Budget and Multi-Year Capital Plan. This plan is prepared pursuant to state growth management legislation and the Miami-Dade County code. This application does not conflict with the current plan.

II. ENVIRONMENTAL IMPACT

A. STORMWATER MANAGEMENT

The adjacent canal, C-100 Canal, is owned by the SFWMD and approval from the SFWMD will be required for any work within the canal or its right-of-way. Positive drainage systems or direct discharge of stormwater runoff into the neighboring canal are not permitted. Therefore, DERM will require that a berm with a top elevation of one foot above flood criteria be placed along the canal, in order to prevent direct discharge of stormwater runoff into the canal. A Class II permit would be required for the construction of drainage system with an outfall into a canal.

All stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage structures. Drainage must be provided for the 5-year storm event with full on-site retention of the 25-year/3-day storm. Pollution Control devices shall be required at all drainage inlet structures.

A Surface Water Management General Permit from DERM shall be required for the construction and operation of the required surface water management system. This permit must be obtained prior to re-development of site, final plat and public works approval of paving and drainage plans. The applicant is advised to contact DERM in order to obtain additional information concerning permitting requirements.

Site grading and development shall comply with the requirements of Chapter 11C of the Code of Miami-Dade County.

Any proposed development shall comply with County and Federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the Level of Service standards for flood protection set forth in the Comprehensive Master Plan subject to compliance with the conditions required by DERM for this proposed development order.

B. WETLANDS

The subject site is not located in jurisdictional wetlands as defined in Sections 24-5 and 24-48 of the Code; therefore a Class IV Permit for work in wetlands will not be required by DERM.

Notwithstanding the above, permits from the Army Corps of Engineers (USACOE), the State of Florida Department of Environmental Protection (FDEP) and the South Florida Water Management District (SFWMD) may be required for the proposed project.

C. TREE PRESERVATION

The subject property contains tree resources; Section 24-49 of the Code requires the preservation of tree resources. A Miami-Dade County tree removal permit is required prior to the removal or relocation of any trees. A tree survey showing all the tree resources on-site will be required prior to reviewing the tree removal permit application.

D. AIR QUALITY PRESERVATION

DERM staff has reviewed the available information, and does not anticipate that this project will adversely impact the local air quality. Fugitive dust emissions should be minimized during all construction phases. Any involved demolition will require an asbestos survey and any required asbestos abatement shall be done prior to demolition.

E. POLLUTION REMEDIATION

DERM shall has reviewed the available information and found that the subject property is not currently or historically permitted with DERM and there are no records of current or historical contamination assessment or remediation issues on the property or within 500 feet of the property.

F. ENFORCEMENT HISTORY

DERM has reviewed the Permits and Enforcement database and the Enforcement Case Tracking System and has found no open or closed formal enforcement records for the subject properties identified in the subject application.

Concurrency Review Summary:

The Department has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

In summary, the application meets the minimum requirements of Chapter 24 of the Code and therefore, it may be scheduled for public hearing; furthermore, this memorandum shall constitute DERM's written approval to that effect as required by the Code.

III. IMPACT ON THE ECONOMY

It is estimated that for 17 single-family residential units sold at \$550,000.00 per unit and for 87 townhouse units sold for \$325,000.00, the operating revenue and cost to Miami-Dade County and the School Board will be as follows:

| | County | School Board | Combined |
|-------------------|-----------------|-------------------|-----------------|
| Total Revenues | \$856,773. | \$493,343. | \$1,350,116. |
| Total Costs | <u>472,903.</u> | <u>\$265,679.</u> | <u>738,582.</u> |
| Net Fiscal Impact | \$ 383,870. | \$ 227,664. | \$611,534. |

The net fiscal impact of this proposal is estimated to provide a positive operating revenue to Miami-Dade County of \$383,870.00 and a net surplus of \$227,664.00 to the School Board, for a combined total for both jurisdictions of \$611,534.00.

IV. IMPACT ON ESSENTIAL GOVERNMENTAL SERVICES

A. POTABLE WATER SUPPLY

The subject property is located within the franchised water service area of the Miami-Dade Water & Sewer Department (MDWASD). Public water abuts the property in the form of a 36-inch distribution main. Connection of the proposed residential development to the public water supply system shall be required. The applicant shall connect to an existing sixteen (16)-in. w.m. stub-out in SW 152 St. and the SW corner of the property and extend a sixteen (16)-in. w.m. in SW 152 St. to the SE corner of the property. If there is access to an existing twelve (12)-in. w.m. located close to the NW corner of the property, the second point of connection shall be that existing twelve (12)-in. w.m. Any w.m. extension within the property shall be eight (8)-in. min. in diameter with two (2) points of connection and the system shall be looped in order to avoid dead end mains. The estimated demand for this project is 32,700 gallons per day (gpd), not including irrigation demands.

The source of water for these mains is MDWASD's Alexander Orr Water Treatment Plant, which has adequate capacity to meet projected demands from this project. The plant is presently producing water, which meets Federal, State and County drinking water standards.

Existing public water facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions stipulated by DERM for this proposed development order.

Notwithstanding that adequate system capacity is available for this project, DERM will require that water conserving plumbing fixtures be installed in accordance with the requirements of the South Florida Building Code in order to use more efficiently the southeast Florida water resources.

It is recommended that the landscaping conform to xeriscape concepts. Included in these concepts is use of drought tolerant plants, reduces use of turf grass together with efficient

irrigation system design. Details of xeriscape concepts are set forth in the "Xeriscape Plant Guide II" from the South Florida Water Management District.

B. SEWER SERVICE

The property is located within the MDWASD's franchised sewer service area. The closest public sanitary sewer is a 12-inch force main located approximately 900 feet west of the site along SW 152 Street. Connection of the proposed development to the public sanitary sewer system will be required. A public sewage pump station is required. Connect to an existing twelve (12)-in. F.M. in SW 152 St. E/O SW 102 Ave. Information on F.M. pressures, confirmation of the proposed point of connection and F.M. sizes in the public right of way will be provided at the time a request for connection is sent to the Department. The wastewater flow is directed to the South District Treatment Plant, which has a current capacity of 85 Million Gallons per Day (MGD), providing secondary treatment. Effluent disposal is by means of deep injection wells.

Existing public water and public sanitary sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction of the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternative means of sewage disposal. Use of an alternative means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

C. POLICE

The Department's goal is to provide timely and efficient police service to the citizens of Miami-Dade County, now, and in the future. The proposed facility location would be serviced by our Kendall District (Police District 5), located at 7707 SW 117 Avenue, Miami, Florida. The current staffing for the Kendall Station stands at approximately 165 sworn officers. Based upon statistical analysis, our average emergency response time is 4.2 minutes.

D. FIRE

1. Based on development information, this project is expected to generate approximately 33 fire and rescue calls annually.
2. A suspected fire within this project would be designated as a house dispatch assignment. Such an assignment requires two (2) suppressions or engines, telesquirts or tankers, one (1) rescue and an accompanying command vehicle. This assignment requires 12 firefighters and officers.

3. The desired travel time to such a project is five (5) minutes for the first-in unit.
4. Required fire flow for this project is 2,000 gpm with hydrant spacing no further than every 300 feet. Proper main extensions can be provided by Miami-Dade Water & Sewer Department. Generally, for this type of development 12-14 inch mains are required.

Existing Services

1. The stations responding to a fire alarm will be:

| <u>Station</u> | <u>Address</u> | <u>Equipment</u> | <u>Staff</u> | <u>Response Time</u> |
|----------------|--------------------------------|---|--------------|----------------------|
| 4 | 9201 SW 152 St., Coral Reef | Basic Life Support Engine Rescue | 8 | 4-5 min. |
| 50 | 9798 Hibiscus St., Perrine | Rescue Advanced Life Support Engine | 7 | 5-6 min. |
| 23 | 7825 SW 104 St., Kendall South | Basic Life Support 75' Aerial Rescue | 7 | 6-8min. |
| 34 | 10850 SW 211 St., Cutler Ridge | Advance Life Support Rescue Basic Life Support 50' Squrt | 7 | 8-10 min. |

2. The following first-response units/stations show a potential unavailability rate in excess of 20% during peak call hours for the previous calendar year:

| <u>Units/Stations</u> | <u>Potential Unavailability During Peak Hours</u> |
|-----------------------|---|
| Rescue 50 | 21.25% |
| Rescue 34 | 26.75% |

3. Increased response times may result because of congestion on the following roadways:

US 1, SW 152 St.

Site Requirements

Fire, Water & Engineering has reviewed and approved the proffered plan entitled 'Palms of Coral Reef,' as prepared by Sotolongo Architects, dated stamp approved July 12, 2005, and consisting of one sheet.

E. PARKS

Identify Impact and Demand

The 104 dwelling units (17 single family detached and 87 townhouse) will produce a population of 297 people, according to current population estimates prepared by the Research Division of the Planning Division of the Planning and Zoning Department. This population generates a need for 0.81 acres of local parkland, based on the CDMP Open Space Spatial Standards of 2.75 acres per 1,000 population.

Existing Service

The nearest community park is Colonial Drive Park, located at 10750 SW 156th Terrace, located approximately 2 miles from this development. The nearest neighborhood park is Rockdale Park, located at SW 146 Street and SW 93rd Avenue, approximately one half mile from this development. The nearest district park is West Kendall District Park, located at SW 120th Street and SW 157th Avenue, approximately 8 miles from this development.

Facilities

Colonial Drive Park has baseball/football fields, basketball courts, fitness course, parking lot, small recreation center, tennis courts, tot lot playground, and a water playground.

Rockdale Park is a passive open space park with no improvements.

West Kendall District Park is not yet constructed. It is planned to have a variety of recreational areas such as lighted ballfields and courts, walking paths, parking areas, and recreational buildings.

Concurrency/Capacity Status

This application is located in Park Benefit District 2, which has a surplus of 584.91 acres of local parkland.

Site Plan Critique & Quality of Life Issues

Because neighborhood parks are not close to this development and the canal is a barrier to easy access to Rockdale Park, it is good that the plan includes 2 open space areas (labeled, "Village Green"), a tot lot area, and a pool for use by residents of this development. The revised plan is acceptable.

F. SCHOOLS

Comments from Miami Dade Public Schools are provided in attached Exhibit "A".

G. SOLID WASTE MANAGEMENT

The County Solid Waste Management System consists of both County facilities and a private facility under contract as follows: two Class I landfills (one owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility and associated ash monofill, and three regional transfer facilities. The Department does not assess or adjust estimated capacity requirements based on the impacts of individual

developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 12, 2003, which is valid for three (3) years, shows sufficient disposal system capacity to meet and exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Department of Planning and Zoning is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

V. IMPACT ON TRANSPORTATION FACILITIES AND ACCESSIBILITY

A. ANTICIPATED TRAFFIC GENERATION AND CONCURRENCY

Trip Generation

77 PM Peak Hour trip ends

Cardinal Distribution

| | |
|--------------|-------------|
| North 33.0 % | East 16.0 % |
| South 27.0 % | West 24.0 % |

B. EXISTING ROADWAYS SERVICEABLE TO THIS APPLICATION

| | | |
|----------------|-----------------------------|-----------------------------|
| Location: | SW 152 nd Street | SW 107 th Avenue |
| Description: | | |
| No. of lanes: | 4 | 4 |
| Existing R/W: | 110' | 80' |
| Classification | Arterial | Arterial |
| Maintenance: | FDOT | MDC |

C. IMPACT ON EXISTING ROADWAYS

Concurrency

Station F-1106 located on SW 152 Street w/o US 1 has a maximum capacity of LOS "A" of 4890 vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of 2621 vehicles and 715 vehicles have been assigned to this section of road from previously approved Development Orders. Station F-1106 with its 3336 PHP and assigned vehicles is at LOS "A". The 37 vehicles generated by this development when combined with the 3336 equals 3373 and LOS "A" where the range of LOS "A" is from 1 to 3490 vehicles.

Station 9728 located on SW 107 Avenue s/o SW 150 Street has a maximum capacity of LOS "D" of 1240 vehicles during the PM Peak Hour. It has a current Peak Hour Period (PHP) of 746 vehicles and 163 vehicles have been assigned to this section of road from previously approved Development Orders. Station 9728 with its 909 PHP and assigned vehicles is at LOS "C". The 15 vehicles generated by this development when combined with the 909 equals 924 and LOS "C" where the range of LOS "C" is from 761 to 1090 vehicles.

Station F-56 located on SW 152 Street e/o SW 112 Avenue has a maximum capacity of LOS "EE" of 4660 vehicles during the PM Peak Hour. It has a current Peak Hour Period

(PHP) of 2482 vehicles and 561 vehicles have been assigned to this section of road from previously approved Development Orders. Station F-56 with its 3043 PHP and assigned vehicles is at LOS "B". The 25 vehicles generated by this development when combined with the 3043 equals 3068 and LOS "B" where the range of LOS "B" is from 1 to 3120 vehicles.

D. ADDITIONAL CONDITIONS/IMPROVEMENTS REQUIRED FOR THIS DEVELOPMENT

1. Land must be platted.
2. Provide guardrail topped with handrail, where sidewalk is provided along the road bordering Canal C-100. Provide guardrail only, where sidewalk is not provided.
3. Northbound left turn bay on SW 152nd Street shall be according to Public Works standards.
4. SW 97th Avenue shall continue North across Canal C-100 in order to maintain continuity on the Section line road. However, in order to determine if this request is feasible, a comprehensive traffic study needs to be performed and evaluated by the Public Works Department. Construct a two-lane bridge according to the South Florida Water Management and Miami-Dade County Public Works Standards. Impact fee credit may be obtained for the construction of said bridge, upon approval of the Public Works Director.
5. Construct Urban Driveway at all connections of private roads with public roads.
6. Provide continuous sidewalk access with appropriate crosswalks to the Village Green from all sections of the development.

E. SITE PLAN CRITIQUE

1. A Public Works permit is required for construction in the public right of way. Florida Department of Transportation permit is required for construction or connection to State right of way.
2. Public access must be provided that satisfies the needs for traffic circulation, Fire and Rescue vehicles.
3. Traffic signals, signs and markings within the development to be reviewed during permitting. PWD reserves the right to require the relocation or elimination of parking spaces that are found to be in conflict with these traffic control devices. Plans shall be reviewed at the Stephen P. Clark Center.
4. All landscaping, walls, fences, Entrance Features, etc. will be subject to the safe sight distance triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works Manual.
5. A property owners association or other mechanism or entity acceptable to the Public Works Director will be required for the maintenance of private drives, common areas, lakes, landscaping and walls/fences.
6. Entrance features are not reviewed or approved as part of this application.
7. Contribution for traffic signals may be required at time of Platting.

This application **meets** the criteria for traffic concurrency for an Initial Development Order. No vehicle trips have been reserved by this application. It will be subject to the payment of road Impact Fees.

F. MASS TRANSIT

Transit service is provided directly in front of the proposed site by Metrobus routes 272 (Sunset KAT), and 288 (Kendall KAT). In addition to these routes, five blocks to the west of the proposed site, is Route 204 (Killian KAT), and five blocks to the east, Routes 72, 88 and 104.

Their frequencies (in minutes) are as follows:

| Route | Peak | Off-Peak | Night | Sat | Sun/Holiday |
|----------------|------|----------|-------|-----|-------------|
| Rt. 1 | 20 | 30/40 | 60 | 40 | 60 |
| Rt. 52 | 30 | 30 | 60 | 30 | 30 |
| Rt. 57 | 30 | 0 | 0 | 0 | 0 |
| Coral Reef Max | 18 | 30 | 30 | 30 | 30 |
| Saga Bay Max | 25 | 0 | 0 | 0 | 0 |
| Busway Max | 25 | 30 | 0 | 0 | 0 |
| Busway Local | 15 | 30 | 30 | 30 | 30 |
| Busway Flier | 15 | 0 | 0 | 0 | 0 |

The 2025 Long Range Transportation Needs Plan does not identify any improvements for the area.

The 2004 Transit Development Program (TDP) identifies in its 2009 Recommended Service Plan (RSP) the following improvements:

Rt. 1: Improve Sunday headways from 60 to 30 minutes. Improve peak headways from 20 to 15 minutes. Improve off-peak and Saturday headways from 40 to 30 minutes (Yr. 2005). Extend service to Quail Roost Dr. and SW 137 Avenue (Yr. 2009).

Rt. 52: Improve peak period headways from 30 to 15 minutes (Yr. 2006). All night service, every 60 minutes, seven days a week. Serves the Dadeland South, South Miami and University stations (Yr. 2007).

Rt. 57: Extend route north of South Miami station to Miami International Airport along 57 Avenue (Yr. 2005). Improve peak headways from 30 to 15 minutes (Yr. 2007).

Coral Reef MAX: Improve peak headways from 18 to 15 minutes (Yr. 2005). Extend evening service to the SW 162 Avenue loop (Yr. 2009).

Saga Bay MAX: Improve peak headways from 24 to 15 minutes (Yr. 2007).

Busway MAX: Improve midday and evening headways from 30 to 15 minutes. Peak period headway will improve from 15 to 10 minutes (Yr. 2005). Re-align service along existing Busway and Busway extension to Florida City. Extend alignment to the Village of Homestead Community (Yr. 2009).

Busway Local: Extend service to Florida City/Homestead along the South Miami-Dade Busway Extension. Re-align route to service Goulds area. Improve peak headways from

15 to 10 minutes (Yr. 2005). Improve midday headways from 30 to 15 minutes. Improve weekend headways from 30 to 20 minutes (Yr.2007)

Florida City / Medley MAX: Introduce peak hour express service between Florida City / Homestead area to Medley. Provide 3 trips in the a.m. and 3 trips in the p.m. (2008).

Busway Express: New peak hour service from Key largo area, through Florida City to the Dadeland South Metrorail station via the Busway (2009).

Based on the information presented, MDT has no objection to this project. However, **provisions must be made by the developer for future/existing transit amenities such as pull-out bays, shelters, etc.** The specific location for the placement of these amenities should be coordinated with MDT's Service and Mobility Planning.

This project has been reviewed by MDT for mass transit concurrency and was found concurrent with the level-of-service standards established Miami-Dade County.

G. AVIATION

Miami-Dade Aviation department has determined that DIC Zoning application No. 04-255, Irwin Potash, is clear of any restrictive zones as depicted in all existing and proposed land use zoning ordinances for the Miami-Dade County system of airports and would be compatible with airport operations.

CONDITIONS:

1. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
2. That a recordable agreement be submitted to and meet with the approval of the Director providing for permanent and safe access for pedestrian and vehicular traffic within the development and particularly for right of access for fire, police, health, and sanitation and other public service personnel and vehicles. The agreement, which shall be a covenant running with the land, shall also include a stipulation that the streets, or access ways, shall be installed and maintained by the applicant, including, but not limited to, sidewalks, drainage facilities, water, sewers and fire hydrants, meeting with the approval of the Director and the Director of the Public Works Department. Such agreement shall be executed by the property owner and any and all parties having an interest in the land, such as mortgagees, etc., and its improvements.
3. That in the event of multiple ownership, a homeowner's association, Special Taxing District or Community Development District be established in accordance with applicable regulations to assure that all common area and facilities for use of all residents shall be maintained in a continuous and satisfactory manner, and without expense to the general taxpayer of Miami-Dade County. The instrument incorporating such provisions shall be approved by the County Attorney as to form and legal sufficiency and shall be recorded in the public records of Miami-Dade County at the time of recording of the subdivision plat.
4. That the applicant comply with all of the applicable conditions, requirements, recommendations, requests and other provisions of the various Departments as contained in the Departmental memoranda which are part of the record of this application and incorporated herein by reference, except for the bridge required by the Public Works Department across Canal C-100 for SW 97 Avenue.

DATE TYPED: 07/19/05
DATE REVISED: 08/19/05
DATE FINALIZED: 09/09/05

EXHIBIT 'A'



Miami-Dade County Public Schools

giving our students the world

Superintendent of Schools
Rudolph F. Crew, Ed.D.

Ana Rijo-Conde, AICP, Facilities Planning Officer
Facilities Planning

Miami-Dade County School Board

Frank J. Bolaños, Chair
Dr. Robert B. Ingram, Vice Chair
Agustín J. Barrera
Evelyn Langlieb Greer
Perla Tabares Hantman
Dr. Martin Karp
Ana Rivas Logan
Dr. Marta Pérez
Dr. Solomon C. Stinson

May 26, 2005

Ms. Maria Teresa-Fojo, Acting Supervisor
Miami-Dade County
Department of Planning and Zoning
Zoning Evaluation Section
111 NW 1 Street, Suite 1110
Miami, Florida 33128

Re: Irwin Potash, et al - Application No. 04-255 (CC12)
East and west of SW 97 Avenue and north of SW 152 Street

Dear Ms. Fojo:

Pursuant to the state-mandated and School Board approved Interlocal Agreement, local government, the development community and the School Board are to collaborate on the options to address the impact of proposed residential development on public schools where the proposed development would result in an increase in the schools' FISH % utilization (permanent and relocatable), in excess of 115%. This figure is to be considered only as a review threshold and shall not be construed to obligate the governing agency to deny a development.

Attached please find the School District's (District) review analysis of potential impact generated by the above referenced application. Please note that only one of the impacted school facilities meet the referenced review threshold. The proposed residential development will impact Coral Reef Senior High School currently operating at 127% of FISH % utilization. However, utilizing the County's Census 2000 figures, the proposed residential development will increase the FISH % utilization of Coral Reef Senior High School to 128% (please see attached analysis).

Additionally, at its April 13, 2005 meeting, the Board approved School District criteria that would allow District staff to make recommendations on residential zoning applications that impact public schools beyond the 115% of FISH capacity threshold (Review Criteria). Pursuant to the Interlocal and the recently approved Review Criteria, the District met with the applicant on May 11, 2005, to discuss the impact of the proposed development on public schools.

The District is grateful that the applicant took the time to meet with the School District to discuss possible mitigation options outlined in the Review Criteria that may accommodate new students generated by the proposed application. As such, the applicant has voluntarily proffered to the School Board a monetary donation, over and above impact fees. The payment of the required educational impact fees for this proposed development and the proffered monetary donation will provide the full capital cost of student stations for the additional students generated by the proposed development. Please be advised that such a proffer by the applicant is subject to School Board approval at an upcoming meeting.

Ms. Maria Teresa-Fojo
May 26, 2005
Page Two

Please note the attached analysis depicts the relief schools planned in the area, which includes the recently approved Facilities Five Year Work Program.

Also, attached is a list of approved Charter School Facilities, which may provide relief on a countywide basis, as well as a report depicting previously approved applications in the area.

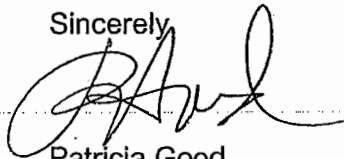
Additionally, pursuant to Miami-Dade County's Educational Facilities Impact Fee Ordinance the proposed development, if approved, will be required to pay educational facilities impact fees (impact fees) based on the following formula:

New residential unit square footage X .90 (Square Footage Fee) + \$600.00 (Base Fee) +
2% administrative fee = Educational Facilities Impact fee

As an example, assuming the proposed unit is 2,132 square feet, the 80-unit development is estimated to generate approximately \$201,440 (\$2,518 per unit, excluding the 2% administration fee) in impact fees. This figure may vary since the impact fees assessed are based on the actual square footage of each dwelling unit.

As always, thank you for your consideration and continued partnership in our mutual goal to enhance the quality of life for the residents of our community.

Sincerely,



Patricia Good
Coordinator III

PG:am
L-0946
Attachment

cc: Ms. Ana Rijo-Conde
Mr. Fernando Albuerne
Mr. Michael A. Levine
Mr. Ivan M. Rodriguez
Ms. Vivian Villaamil
Mr. Jeffrey Flanagan

SCHOOL IMPACT REVIEW ANALYSIS

APPLICATION: No. 04-255, Irwin Potash, et al

REQUEST: Zoning change from AU (Agricultural), EU-1 (Estates 1 Family) and EU-M (Estates Modified) to PAD (Planned Area Development)

ACRES: 13.77 acres

MSA/Multiplier: 5.8/.45 and .51

LOCATION: East and west of SW 97 Avenue and north of SW 152 Street

UNITS: 80 additional units 24 units currently permitted under existing zoning classification, for a total of 104 units)

ESTIMATED STUDENT POPULATION: 36 additional students*

ELEMENTARY: 17

MIDDLE: 9

SENIOR: 10

SCHOOLS SERVING AREA OF APPLICATION:

ELEMENTARY: Colonial Drive Elementary - 10755 SW 160 Street

MIDDLE: Richmond Heights Middle - 15015 SW 103 Avenue

SENIOR HIGH: Miami Killian Senior High— 10101 SW 152 Street

All schools are located in Regions 5 and 6

* Based on Census 2000 information provided by the Miami-Dade County Department of Planning and Zoning.

The following population and facility capacity data are as reported by the Office of Information Technology, as of October, 2004:

| | STUDENT POPULATION | FISH DESIGN CAPACITY PERMANENT | % UTILIZATION FISH DESIGN CAPACITY PERMANENT | NUMBER OF PORTABLE STUDENT STATIONS | % UTILIZATION FISH DESIGN CAPACITY PERMANENT AND RELOCATABLE | CUMULATIVE STUDENTS ** |
|-------------------------------|-----------------------|--------------------------------------|--|--|---|---------------------------|
| Colonial Drive Elem. | 324/ 341* | 438 | 74%/ 78%* | 0 | 74%/ 78%* | 341 |
| Richmond Heights Middle | 1563/ 1572* | 1121 | 139%/ 140%* | 257 | 113%/ 114%* | 1796 |
| Miami Killian Sr. | 3780/ 3793* | 2148 | 176%/ 177%* | 238 | 158%/ 159%* | 3864 |

* increased student population as a result of the proposed development

** Estimated # of students (cumulative) based on zoning/land use log (2001- present) and assuming all approved developments are built; also assumes none of the prior cumulative students are figured in current population.

Notes:

- 1) Figures above reflect the impact of the class size amendment.
- 2) Pursuant to the Interlocal Agreement, the senior high school meets the review threshold.

PLANNED RELIEF SCHOOLS IN THE AREA

(information included in proposed 5-Year Capital Plan, 2005-2009, dated January 2005):

Projects in Planning, Design or Construction

| <u>School</u> | <u>Status</u> | <u>Projected Occupancy Date</u> |
|--|---------------|---------------------------------|
| K-8 Conversion at F.C. Martin Elementary School (Richmond Heights Middle School Relief) (551 student stations) | Design | December 2006 |
| State School "YY1" (Redland, Hammocks, Ammons and Richmond Heights Middle School Relief) (2120 student stations) | Design | August 2007 |

Proposed Relief Schools

| <u>School</u> | <u>Funding Year</u> |
|--|---------------------|
| New Senior High Palmetto and Miami Killian Senior Relief (2000 student stations) | FY 07-08 |

| | |
|---|------|
| Estimated Permanent Elementary Seats (Current and Proposed in 5-Year Plan) | 438 |
| Estimated Permanent Middle Seats (Current and Proposed in 5-Year Plan) | 3792 |
| Estimated Permanent Senior High seats (Current and Proposed in 5-Year Plan) | 4148 |

Note: Some of the proposed schools will add relief to more than one school and new seats will be assigned based on projected need.

OPERATING COSTS: According to Financial Affairs, the average cost for K-12 grade students amounts to \$6,549 per student. The total annual operating cost for additional students residing in this development, if approved, would total \$235,764.

CAPITAL COSTS: Based on the State's May-2005 student station cost factors*, capital costs for the estimated additional students to be generated by the proposed development are:

| | | |
|------------------------------|----------------|-------------|
| ELEMENTARY | 17 x \$ 13,545 | = \$230,265 |
| MIDDLE | 9 x \$ 15,530 | = \$139,770 |
| SENIOR | 10 x \$ 20,551 | = \$205,510 |
| Total Potential Capital Cost | | \$575,545 |

* Based on Information provided by the Florida Department of Education, Office of Educational Facilities Budgeting. Cost per student station does not include land cost.

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| | Applicant Name & Number | Location Address | Units/Students | Schools | Board District(s)/Region(s) | Community Council/Date | Approved/Denied/Comments |
|----|---|--|-------------------------|---|-----------------------------|------------------------|--------------------------|
| 1 | HOWARD MARLOWE #03-243 | N of SW 32 St. and W of SW 145 Ave. | 7 Units/ 4 Students | GREENGLADE ELEM-2 WR THOMAS MID-1 BRADDOCK SR-1 | 7/5 8/5 7/5 | CC12 | WITHDRAWN |
| 2 | OTTO GONZALEZ JR. #01-364 | 6725 SW 97 Ave. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 01/24/02 | DENIED |
| 3 | MARTA DE VARONA #00-370 | 9390 SW 66 St. | 2 Units/ 1 Student | SNAPPER CREEK ELEM-1 GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 02/20/01 | APPROVED |
| 4 | ENRIQUE PIWKO #03-333 | NEC of SW 84 Ave. and SW 94 St. | 2 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 6/5 6/5 | CC12 03/10/04 | APPROVED |
| 5 | EMILIA A. LAVIN #01-375 | 7890 SW 72 Ave. | 4 Units/ 2 Students | LUDLAM ELEM-1 S. MIAMI MID-1 S. MIAMI SR | 6/5 6/5 8/5 | CC12 03/26/02 | DENIED |
| 6 | RAMON LAVIN #01-378 | N of SW 80 St. and approx. 152' W of SW 72 Ave. | 3 Units/ 1 Student | LUDLAM ELEM-1 S. MIAMI MID S. MIAMI SR | 6/5 6/5 8/5 | CC12 03/26/02 | DENIED |
| 7 | JOSEPH C. SHAW, TRUSTEE #02-182 | 7990 SW 112 St. | 3 Units/ 1 Student | VINELAND ELEM-1 PALMETTO MID PALMETTO SR | 7/5 9/5 9/5 | CC12 05/13/03 | APPROVED |
| 8 | RAUL & JUANA GAMAZO #02-345 | 10305 SW 70 St. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 05/13/03 | APPROVED |
| 9 | PHILLIP & DONNA SLOTSKY, ET AL #02-346 | S of SW 112 St. and W of SW 87 Ave. | 5 Units/ 2 Students | VINELAND ELEM-1 PALMETTO MID-1 KILLIAN SR | 7/5 9/5 6/5 | CC12 05/13/03 | WITHDRAWN |
| 10 | ROSA, OTIS & JAMES WHITEHEAD #03-024 | S of SW 126 St. & E of SW 92 Ave. | 11 Units/ 4 Students | VINELAND ELEM-2 PALMETTO MID-1 PALMETTO SR-1 | 7/5 9/5 9/5 | CC12 05/28/03 | APPROVED |
| 11 | SILVERWINGS DEVELOPMENT LLC #03-035 | E of SW 80 Ave. & S of SW 110 St. | 17 Units/ 6 Students | VINELAND ELEM-3 PALMETTO MID-1 PALMETTO SR-2 | 7/5 9/5 9/5 | CC12 05/28/03 | APPROVED |
| 12 | GENERAL CONFERENCE CORP OF 7TH DAY ADVENTIST #00-440 | 8100 SW 117 Ave. | 10 Units/ 6 Students | SUNSET PARK ELEM-3 GLADES MID-1 KILLIAN SR-2 | 6/5 8/5 6/5 | CC12 07/05/01 | APPROVED |
| 13 | JIMMY DIAZ #03-109 | 4920 SW 76 St. | 1 Units/ 0 Students | CORAL GABLES ELEM PONCE DE LEON MID CORAL GABLES SR | 6/4 9/4 6/4 | CC12 07/3/03 | APPROVED |
| 14 | ROBERT S. NEUMANN #03-083 | 9720 SW 92 Terr. | 2 Units/ 1 Student | KENDALE ELEM-1 GLADES MID KILLIAN SR | 7/5 8/5 6/5 | CC12 07/3/03 | APPROVED |

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| | | | | | | | |
|----|---|-------------------------------------|--------------------------|--|-------------------|------------------|-----------|
| 15 | SLMK COP. & LAURISSE K. MASRI, TRUSTEE #03-118 | SEC of SW 84 Ave. & S of SW 110 St. | 3 Units/ 1 Student | VINELAND ELEM-1 PALMETTO MID KILLIAN SR | 7/5 9/5 6/5 | CC12 07/3/03 | APPROVED |
| 16 | AMIGOS INVESTMENT, INC. #03-351 | 13630 SW 97 Ave. | 3 Units/ 2 StudentS | LEEWOOD ELEM-1 PALMETTO MID-0 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 07/6/04 | WITHDRAWN |
| 17 | MARQUISE'S INVESTMENTS, LLC #00-176 | 9520 SW 92 St. | 3 Units/ 1 Student | KENDALE ELEM-1 GLADES MID KILLIAN SR | 7/5 8/5 6/5 | CC12 09/20/01 | APPROVED |
| 18 | HHJ DEVELOPMENT, LLC #03-117 | SEC of SW 89 Ave. & SW 94 St. | 3 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 6/5 6/5 | CC12 09/23/03 | APPROVED |
| 19 | FRANCIS B. COMPTON #03-271 | SW 124 St. and SW 95 Ave. | 23 Units/ 10 Student | VINELAND ELEM-5 PALMETTO MID-2 KILLIAN SR-3 | 7/5 9/5 6/5 | CC12 09/8/04 | APPROVED |
| 20 | MYSTIC FOREST INVESTMENTS III, INC. #03-358 | NWC of SW 119 Ct. and SW 80 St. | 20 Units/ 10 Students | SUNSET PARK ELEM-5 GLADES MID-2 KILLIAN SR-3 | 6/5 8/5 6/5 | CC12 09/8/04 | APPROVED |
| 21 | TASNIM UDDIN #02-266 | E of SW 89 Ct. and N of SW 72 St. | 8 Units/ 3 Students | BLUE LAKES ELEM-1 GLADES MID-1 KILLIAN SR-1 | 8/5 8/5 6/5 | CC12 10/09/03 | APPROVED |
| 22 | SILVIO & JUANA YOLANDA ALVA #04-112 | SEC of SW 64 St. and SW 97 Ave. | 1 Unit/ 0 Students | SNAPPER CREEK ELEM-0 GLADES MID-0 SW MIAMI SR-0 | 8/5 8/5 8/5 | CC12 10/13/04 | APPROVED |
| 23 | CAULEY PALISADE CORP. #02-096 | 9325 SW 128 St. | 7 Units/ 3 Students | VINELAND ELEM-1 PALMETTO MID-1 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 10/22/02 | APPROVED |
| 24 | HARLON & ANN SACHS #02-140 | 9500 SW 68 St. | 3 Units/ 1 Student | SNAPPER CREEK ELEM-1 GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 10/22/02 | APPROVED |
| 25 | ARLENE POLLOCK #01-110 | S of SW 96 St. and W of SW 107 Ct. | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 26 | DAVID KING #01-109 | SW of SW 96 St. and SW 107 Ct. | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 27 | JAY A. DAVIS #01-108 | S of SW 96 St. and W of SW 107 Ave. | 3 Units/ 2 Students | KENDALE ELEM-1 ARVIDA MID-1 KILLIAN SR | 7/5 7/5 6/5 | CC12 11/07/01 | APPROVED |
| 28 | HENRY FORERO #02-172 | 13010 SW 102 Ave. | 4 Units/ 1 Student | LEEWOOD ELEM-1 PALMETTO MID KILLIAN SR | 7/5 9/5 6/5 | CC12 11/26/02 | APPROVED |

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| | | | | | | | |
|----|---|---|---------------------------|--|-------------------|-------------------------|---------------------------|
| 29 | JORGE A. RODRIGUEZ #02-264 | 5810 SW 97 Ave. | 1 Units/ 0 Students | SNAPPER CREEK ELEM GLADES MID SOUTHWEST MIAMI SR | 8/5 8/5 8/5 | CC12 11/26/02 | APPROVED |
| 30 | LUDLAM POINT CLUB, LLC #02-221 | 6801 SW 44 St. | 118 Units/ 17 Students | S. MIAMI ELEM-8 S. MIAMI MID-4 S. MIAMI SR-5 | 6/5 6/5 8/5 | CC12 11/26/02 | APPROVED |
| 31 | HHJ DEVELOPMENT, LLC #01-388 | 8820-90 SW 94 St. | 3 Units/ 1 Student | KENWOOD ELEMID-1 KILLIAN SR | 6/5 6/5 | CC12 11/26/02 | DENIED |
| 32 | AVIS KAPLOW KALLAN #02-269 | 11860 SW 80 St. | 58 Units/ 32 Students | SUNSET PARK ELEM-15 GLADES MID-8 KILLIAN SR-9 | 6/5 8/5 6/5 | CC12 12/18/02 | APPROVED |
| 33 | SOUTH MIAMI METRORAIL STATION SITE | Property bounded by Sunset Dr., SW 59 Pl. SW 70 St. and US-1 | 144 Units/ 23 Students | LUDLAM ELEM S. MIAMI MID S. MIAMI SR | 6/5 6/5 8/5 | CC12 BCC | APPROVED |
| 34 | GEORGE E. WILLIAMSON, II AND THOMAS W. WILLIAMSON | SEC of N. Kendal Dr. and Dadeland Blvd. | 373 Units/ 78 Students | KENWOOD ELEM GLADES MID S. MIAMI SR | 7/5 8/5 8/5 | CC12 BCC 03/14/02 | APPROVED \$123,240 O/A |
| 35 | A WALK IN GLOWAY PARK, INC #03-318 | NWC of SW 112 St. and SW 87 Ave. | 4 Units/ 2 Student | VINELAND ELEM-1 PALMETTO MID-0 KILLIAN SR-1 | 7/5 9/5 6/5 | CC12 BCC 11/18/04 | APPROVED |
| 36 | A WALK IN FALL PARK, INC. #03-320 | SWC of SW 148 St. and SW 93 Ave. | 10 Units/ 5 Students | VINELAND ELEM-2 SOUTHWOOD MID-1 PALMETTO SR-2 | 7/5 9/5 9/5 | CC12 Def.-04/26/05 | PENDING |
| 37 | DADELAND BREEZES APARTMENTS, LLC #04-366 | N of SW 88 St. on the W side of State Road 826 | 242 Units/ 61 Student | KENWOOD ELEMID-28/15 S MIAMI SR-18 | 6/5 8/5 | CC12 Def.-04/26/05 | PENDING |
| 38 | PANCHO MENENDEZ LAND TRUST #04-374 | S of SW 40 St. and W of SW 69 Ave. | 27 Units/ 10 Student | S. MIAMI ELEM-5 S. MIAMI MID-2 S. MIAMI SR-3 | 6/5 6/5 8/5 | CC12 Def.-04/26/05 | PENDING |
| 39 | PINES DEVELOPMENT CORP. #04-333 | 9795 SW 107 Ave. | 3 Units/ 1 Students | KENDALE ELEM-1 ARVIDA MID-0 KILLIAN SR-0 | 7/5 7/5 6/5 | CC12 Def.-04/26/05 | PENDING |

Note: There are four applications that are pending which would generate 77 students.

ZONING REPORT
(APPLICATIONS REVIEWED SINCE JANUARY 2001)
CC12

| SCHOOLS | STUDENT POPULATION | NUMBER OF STUDENTS PER PROJECT APPROVED | CUMULATIVE TOTAL STUDENT POPULATION | STUDENT STATIONS PERMANENT | RELOCATABLE STATIONS | CUMULATIVE UTILIZATION INCLUDING RELOCATABLE |
|--------------------|-----------------------|--|--|----------------------------------|-------------------------|---|
| BLUE LAKES ELEM | 540 | 1 | 541 | 760 | 36 | 68% |
| KENDALE ELEM | 590 | 5 | 595 | 459 | 18 | 125% |
| KENWOOD ELEM | 1136 | 2 | 1138 | 854 | 16 | 131% |
| LEEWOOD ELEM | 620 | 1 | 621 | 594 | 40 | 98% |
| S. MIAMI ELEM | 553 | 8 | 561 | 283 | 128 | 136% |
| SNAPPER CREEK ELEM | 604 | 2 | 606 | 480 | 0 | 126% |
| SUNSET PARK ELEM | 655 | 23 | 678 | 704 | 18 | 94% |
| VINELAND ELEM | 624 | 14 | 638 | 537 | 112 | 98% |
| ELEMENTARY TOTALS | 5322 | 56 | 5378 | 4671 | 368 | 107% |
| ARVIDA MID | 1798 | 3 | 1801 | 892 | 158 | 172% |
| GLADES MID | 1550 | 12 | 1562 | 804 | 158 | 162% |
| PALMETTO MID | 1746 | 5 | 1751 | 905 | 139 | 168% |
| S. MIAMI MID | 1260 | 4 | 1264 | 719 | 79 | 158% |
| MIDDLE TOTALS | 6354 | 24 | 6378 | 3320 | 534 | 155% |
| MIAMI KILLIAN SR | 3780 | 20 | 3800 | 2148 | 238 | 159% |
| MIAMI PALMETTO SR | 3550 | 3 | 3553 | 2053 | 238 | 155% |
| SOUTH MIAMI SR | 2858 | 5 | 2863 | 1695 | 261 | 146% |
| SENIOR HIGH TOTALS | 10188 | 28 | 10216 | 5896 | 737 | 150% |

| | | | | | | |
|--------------|--------------|------------|--------------|--------------|-------------|-------------|
| TOTAL | 21864 | 108 | 21972 | 13887 | 1639 | 142% |
|--------------|--------------|------------|--------------|--------------|-------------|-------------|

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|---|-------------|---|--|--|----|----|
| 7022 | Academy of Arts and Minds <i>Opening Fall 2004</i> | 9-12 | 305-448-1100 305-448-9737 Fax | 3138 Commodore Plaza Coconut Grove 33133 | Ms. Velia Yedra | 4 | 6 |
| 0510 | Archimedean Academy | K-6 | 305-279-6572 305-675-8448 Fax 702-993-1328 Fax - <i>Electronic</i> | 12425 SW 72 St. Miami 33183 | Ms. Pat Booth pbooth@dadeschools.net | 5 | 7 |
| 6070 | ASPIRA Eugenio Maria De Hostos Charter School | 6-8 | 305-576-1512 305-576-0810 Fax | 1910 NE Miami Ct, Miami 33127 | Mr. Fernando Lopez flopez@dadeschools.net | 4 | 2 |
| 6060 | ASPIRA South Youth Leadership Charter School | 6-8 | 305-246-1111 305-246-1433 Fax | 14112-14114 SW 288 St. Leisure City 33033 | Mr. Kevin Moore kmoore@dadeschools.net | 6 | 9 |
| 6020 | ASPIRA Youth Leadership Charter School | 6-8 | 305-893-8050 305-891-6055 Fax | 13300 Memorial Hwy. N. Miami 33161 | Ms. Iliana Peña idpena@dadeschools.net | 2 | 1 |
| 0950 | Aventura City of Excellence School | K-8 | 305-466-1499 305-466-1339 Fax | 3333 NE 188 St. Aventura 33180 | Dr. Katherine Murphy kmurphy@dadeschools.net | 2 | 3 |
| 0113 | Balere Language Academy <i>Opening Fall 2004</i> | K-8 | 305-232-9797 305-232-4535 Fax | 10600 Caribbean Blvd. Miami 33189 | Ms. Rocka Malik | 6 | 9 |
| 0070 | Coral Reef Montessori Academy | K-8 | 305-255-0064 305-255-4085 Fax | 10853 SW 216 St. Miami 33157 <i>Temporary location: 10875 SW 186 St. Miami 33157</i> | Ms. Juliet King julietking@dadeschools.net Ms. Lucy Canzoneri-Golden | 6 | 9 |
| 3030 | Doral Academy | K-5 | 305-597-9999 305-591-2669 Fax | 2450 NW 97 Ave. Miami 33172 | Ms. Ileana Gomez ileanagomez@dadeschools.net | 3 | 5 |
| 6030 | Doral Academy Charter Middle | 6-8 | 305-591-0020 305-591-9251 Fax | 2601 NW 112 Ave. Miami 33172 | Mr. Jose Baca | 3 | 5 |
| 7020 | Doral Academy High School | 9-12 | 305-597-9950 305-477-6762 Fax | 11100 NW 27 St. Miami 33172 | Mr. Frank Jimenez | 3 | 5 |
| 3600 | Downtown Miami Charter School | K-8 | 305-579-2112 305-579-2115 Fax | 305 NW 3 Ave. Miami 33128 | Ms. Terry Maus | 4 | 6 |
| 6010 | Florida International Academy | 6-8 | 305-758-6912 305-758-6985 Fax | 7630 Biscayne Blvd. Miami 33138 | Ms. Sonia Mitchell smitchell@dadeschools.net | 4 | 2 |
| 2060 | Theodore R. and Thelma A. Gibson Charter School | K-8 | 305-648-3126 305-648-3130 Fax | 3634 Grand Ave. Miami 33133 | TBA | 4 | 6 |
| 7007 | International Studies Charter High School <i>Opening Fall 2004</i> | 9-12 | TBA | 3280 South Miami Avenue Miami 33127 | Mr. Rufus Samkin | 4 | 6 |
| 3610 | Keys Gate Charter School | K-8 | 305-230-1616 305-230-1347 Fax | 2000 SE 28 Ave. Homestead 33035 | Ms. Christine Valadez cvaladez@dadeschools.net | 6 | 9 |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|--|-------------|---|---|--|----|----|
| 0204 | Las Palmas Charter <i>Opening Fall 2004</i> | K-8 | 954-722-1141 | 14250 SW 202 Avenue Miami 33196 | TBA | 6 | 7 |
| 0040 | Liberty City Charter School | K-8 | 305-751-2700 305-751-1316 Fax | 8700 NW 5 Ave. Miami 33150 | Ms. Katrina Wilson-Davis k.wilson-davis@dadeschools.net | 4 | 2 |
| 0100 | Mater Academy | K-5 | 305-698-9900 305-698-3822 Fax | 7700 NW 98th St. Hialeah Gdns 33016 | Ms. Kim Guilarte kguilarte@dadeschools.net | 1 | 4 |
| 6012 | Mater Academy Charter Middle | 6-8 | 305-828-1886 305-828-6175 Fax | 7901 NW 103 St. Hialeah Gardens 33016 | Mr. Rene Rovirosa rrovirosa@dadeschools.net | 1 | 4 |
| 3100 | Mater Academy East Charter School | K-8 | 305-324-4667 305-324-6580 Fax | 450 SW 4th St. Miami 33130 | Ms. Beatriz Riera briera@dadeschools.net | 4 | 6 |
| 7160 | Mater Academy Charter High School | 9-12 | 305-828-1886 305-828-6175 Fax | 7901 NW 103 St. Hialeah Gdns 33016 | Ms. Judith Marty jmarty@dadeschools.net | 1 | 4 |
| 3630 | Miami Children's Museum Charter School <i>Opening Fall 2004</i> | K-5 | Academica Corporation 305-669-2906 305-669-4390 Fax | 980 McArthur Causeway Miami 33132 <i>Temporary location for 04-05: 450 SW 4 St. Miami 33130</i> | TBA | 4 | 6 |
| 0102 | Miami Community Charter School <i>Opening Fall 2004</i> | K-5 | 305-245-2552 305-245-2527 | 101 SW Redland Road Miami 33034 | Ms. Jila Rezaie | 6 | 7 |
| 6040 | Miami Shores/Barry University Connected Learning Center | 6-8 | 305-754-2381 305-754-9928 Fax | 11441 NW 2 Ave. Miami Shores 33168 | Mr. John Ferrell jferrel@dadeschools.net | 4 | 2 |
| 0110 | North County Charter School | K-5 | 305-681-9116 305-688-8096 Fax | 3400 NW 135th St. Miami 33054 | TBA | 1 | 1 |
| 5130 | North Dade Community Charter School | K-5 | TBA | 13301 NW 24th Ave. Opa-Locka 33054 | Mr. Edward Bethel edbethel@dadeschools.net | 1 | 1 |
| 0120 | Northeast Academy Charter | K-5 | 305-685-2456 305-685-2508 Fax | 3400 NW 135 St. Miami 33054 | TBA | 2 | 3 |
| 0600 | Pinecrest Preparatory Academy | K-5 | 305-207-1027 305-207-1897 Fax | 14301 SW 42 St. Miami 33175 | Ms. Susie Dopico sdopico@dadeschools.net | 5 | 8 |
| 6022 | Pinecrest Academy Charter Middle School | 6-8 | 305-207-1027 305-207-1897 Fax | 14301 SW 42 St. Miami 33175 | Ms. Jeanette Menendez | 5 | 8 |
| 0400 | Renaissance Elementary Charter School | K-5 | 305-591-2225 305-591-2984 Fax | 8360 NW 33 St. Miami 33122 | Ms. Ana Cordal acordal@dadeschools.net | 3 | 5 |

CHARTER SCHOOL LIST 2004-2005

| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|--|-------------|---|--|---|----|----|
| 0300 | Rosa Parks Charter School/Florida City | K-8 | 305-246-3336 305-246-3340 Fax | K-5 students will be at this location: 713 West Palm Dr. Florida City 33034 6-8 students will be at this location: 303 West Palm Dr. Florida City 33034 | Mr. George Brown gwbrown@dadeschools.net | 6 | 9 |
| 0500 | Rosa Parks Community School/Overtown | K-6 | 305-379-4905 305-379-4988 Fax | 430 NW 9th St. Miami 33136 | Mr. George Brown gwbrown@dadeschools.net | 4 | 2 |
| 7030 | School for Integrated Academics & Technologies (SIA Tech) | 9-12 | TBA | Main Campus: Miami Job Corps Center 3050 NW 183 St. Miami South Campus: Homestead Job Corps Center 12350 SW 285 St. Homestead | Ms. Marjorie Lopez | 2 | 1 |
| 0520 | Somerset Academy <i>Opening Fall 2004</i> | K-5 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 <i>Temporary location for 04-05: TBA</i> | TBA | 6 | 9 |
| 6004 | Somerset Academy Charter Middle <i>Opening Fall 2004</i> | 6-8 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 <i>Temporary locations for 04-05: 2601 NW 112 Ave. Miami 33172 8750 NW 21 Terr, Miami 33172</i> | TBA | 6 | 9 |
| 7042 | Somerset Academy Charter High School <i>Opening Fall 2004</i> | 9-12 | Academica Corporation 305-669-2906 305-669-4390 Fax | SW 117 Ave. & 232 St. Miami 33170 <i>Temporary locations for 04-05: 2601 NW 112 Ave. Miami 33172 11100 NW 27 St. Miami 33172</i> | TBA | 6 | 9 |
| 0200 | Spiral Tech Elementary Charter School | K-5 | 305-273-0474 305-273-0242 Fax | 12400 SW 72 St. Miami 33183 | Ms. Gisela Batan gbatan@dadeschools.net | 6 | 9 |

CHARTER SCHOOL LIST 2004-2005

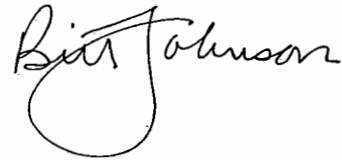
| LOC# | SCHOOL/SCHOOL WEBSITE | GRADE LEVEL | TELEPHONE | ADDRESS | SITE ADMINISTRATOR | AC | VD |
|------|---|-------------|----------------------------------|---|--|-----|-----|
| 6900 | Vankara Academy Charter School | 6-8 | 305-769-2827 305-685-7551 Fax | 13307-11 Alexandria Dr. Opa-Locka 33054 | TBA | 1 | 1 |
| 5710 | Sandor Wiener School of Opportunity | K-5 | 305-623-9631 305-623-9621 Fax | Main Campus: 20000 NW 47 Ct. Opa-Locka 33055 | Ms. Lissa Gonzalez lgonzalez1@dadeschools.net | 1 | 1 |
| | | | 305-279-3064 305-279-3294 Fax | Kendall Campus: 11025 SW 84th St. Miami 33173 | Lead Teacher: Ms. Roxana Ochoa | | |
| 4050 | Sweet Home Charter School <i>Opening Fall 2004</i> | K-8 | Mr. Peter Calin 305-725-0119 | TBA | TBA | TBA | TBA |
| 1020 | Youth Co-Op Charter School | K-8 | 305-819-8855 305-819-8455 Fax | 12051 W. Okeechobee Rd. Hialeah Gdns 33018 | Ms. Maritza Aragon maragon@dadeschools.net | 1 | 4 |

APPLICATION NO. Z04-255
IRWIN POTASH, ET AL

Respectfully Submitted,

DIC Executive Council
September 07, 2005

Bill Johnson
Assistant County Manager




AYE

Herminio Lorenzo, Fire Chief
Miami-Dade Fire Rescue Department

Absent

Irma San Roman, Deputy Director
Metropolitan Planning Organization Secretariat



AYE

Diane O'Quinn Williams, Director
Department of Planning and Zoning



AYE

Esther Calas, P.E., Director.
Public Works Department



AYE

Jose Gonzalez, P.E., Assistant Director
Department of Environmental Resources Mgmt



AYE

William Brant, Director
Miami-Dade Water and Sewer Department

Absent

TEAM METRO KENDALL OFFICE

ENFORCEMENT HISTORY

Irwin Potash, Et Al

North side of SW 152 Street & lying
East and West of theoretical SW 97
Avenue, Miami Dade, County
Florida

PROPERTY OWNER

ADDRESS

10/17/05

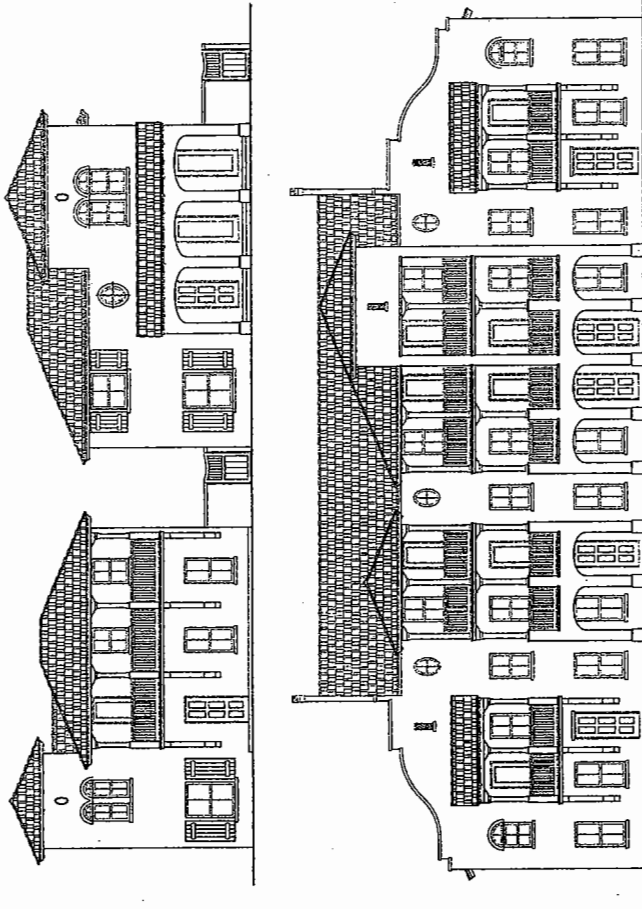
HEARING DATE

04-255

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

10/5/05 No violations observed at this time



PALMS OF CORAL REEF RESIDENTIAL COMMUNITY

S.W. 97th AVENUE & 152nd STREET
MIAMI-DADE COUNTY, FLORIDA.



PLANNING AND ARCHITECTURE

SOTOLONGO ARCHITECTS
10630 N.W. 27th STREET
MIAMI, FLORIDA 33172.
305-593-9798



LANDSCAPE ARCHITECT

WITKIN DESIGN GROUP
16853 N.E. 2nd AVENUE, SUITE 305
NORTH MIAMI BEACH, FLORIDA 33162.
305-650-8669

OWNER

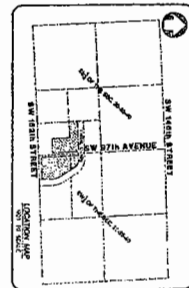
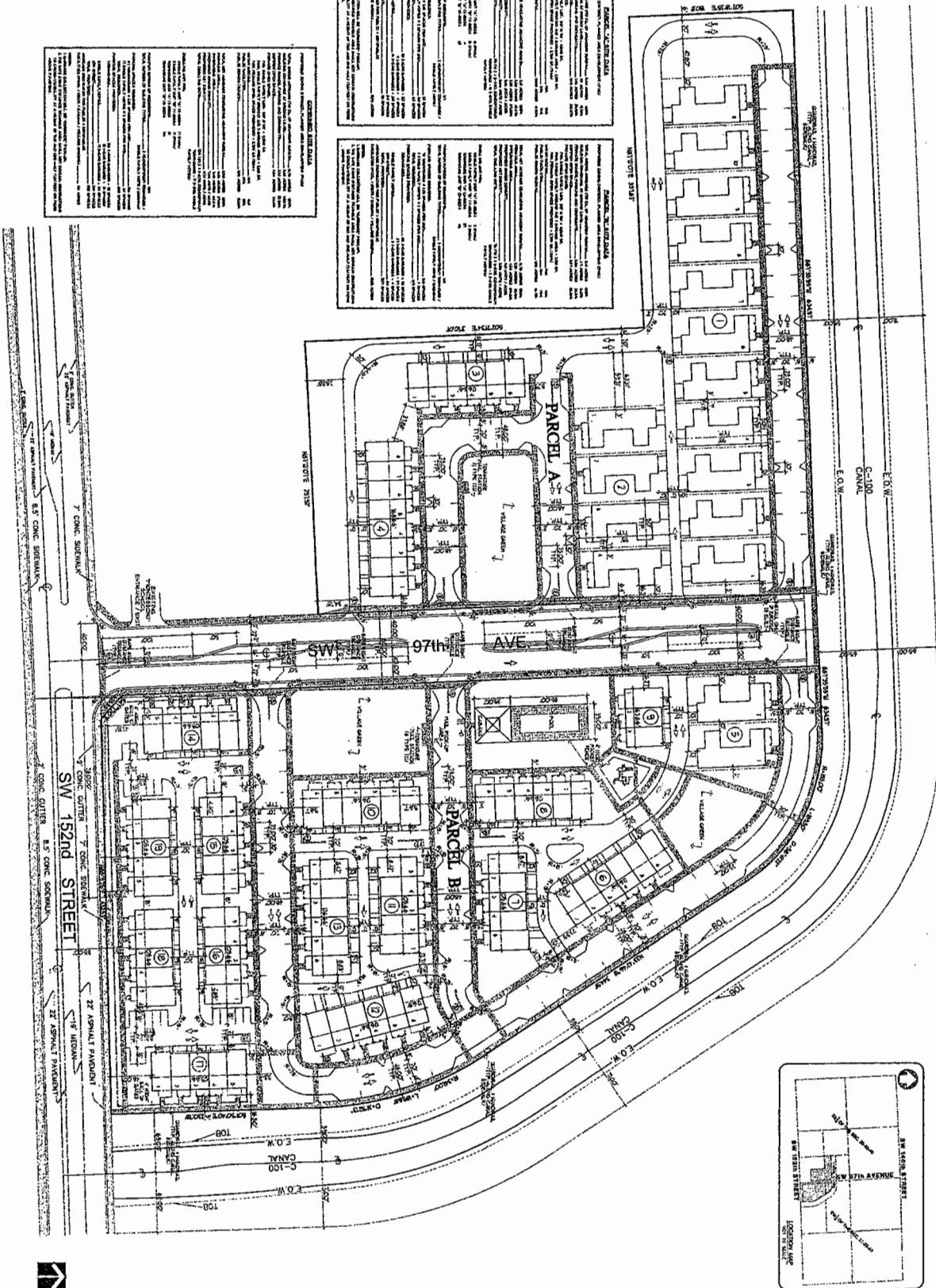
LANDSEA DEVELOPMENTS
9155 SOUTH DADELAND BOULEVARD, SUITE 1810
MIAMI, FLORIDA 33156
305-670-3837

GENERAL NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB, UNLESS OTHERWISE NOTED.
2. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
3. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
4. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
5. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
6. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
7. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
8. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
9. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.
10. THE SITE PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEER.

PROPOSED LOT DATA

| LOT | AREA (SQ. FT.) | AREA (SQ. YD.) | FRONT SETBACK (FEET) | REAR SETBACK (FEET) | SIDE SETBACK (FEET) | STORY | USE |
|-----|----------------|----------------|----------------------|---------------------|---------------------|-------|-------------|
| 1 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 2 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 3 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 4 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 5 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 6 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 7 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 8 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 9 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |
| 10 | 10,000 | 0.23 | 10 | 10 | 5 | 3 | RESIDENTIAL |



7/15/2005
MAIL & SOTOLONGO
RECORD N° 087112

SP-1
SHEET
OF
SHEETS

SITE PLAN

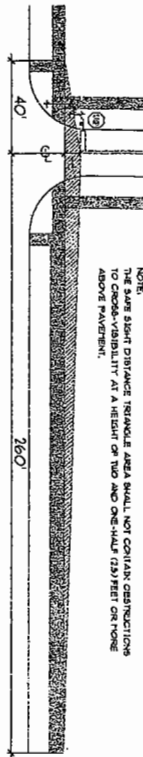
**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI-DADE COUNTY, FLORIDA.
LANDSEA DEVELOPMENTS

**SOTOLONGO
ARCHITECTS**

SOTOLONGO ARCHITECTS, INC.
10630 NORTHWEST 27TH STREET
DORAL, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE AAC000975

| REVISION | DATE | BY | CHKD |
|----------|-----------|------|------|
| 1 | 7/15/2005 | SP-1 | |

TYPICAL SAFE SIGHT DISTANCE TRIANGLE . AIA.

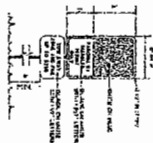


NOTE:
THE SAFE SIGHT DISTANCE TRIANGLE AREA SHALL NOT CONTAIN OBSTRUCTIONS
TO CROSS-VISIBILITY AT A HEIGHT OF TWO AND ONE-HALF (2.5) FEET OR MORE
ABOVE FINISH GRADE.

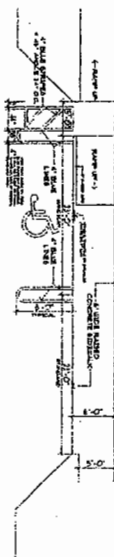
90° PARKING DETAIL . AIA.



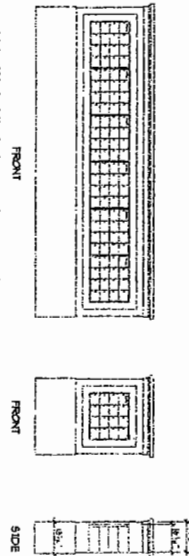
HANDICAP SIGN . AIA.



PARALLEL PARKING DETAIL . AIA.



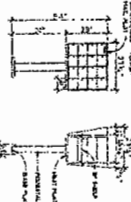
TOWNHOUSE DETAIL STATION ELEVATION .



INDIVIDUAL
MAILBOX . AIA.
(SINGLE PARTLY)



POST OFFICE "KANG
MAILBOX" . AIA.
(TOWNHOUSES)



7/15/2005
MAIL R. SOTOLONGO
RECORD N° 407 1.2

SP-2
SHEET
DATE 10/28/04
JOB C-401
DRAWN BY T.P.
CHECKED BY T.P.
SCALE N.T.S.
SITE DETAILS

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

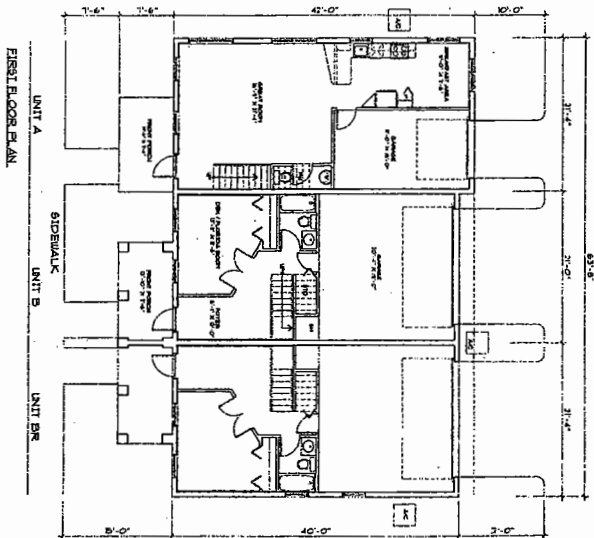
SOTOLONGO
ARCHITECTS

SOTOLONGO ARCHITECTS, INC.
10630 NORTHWEST 27TH STREET
DORAL, FLORIDA 33172
TELEPHONE: (305) 593-9796
FAX: (305) 593-0096
CORP. LICENSE AAC000975

| REVISIONS | BY |
|-----------|-------|
| 1 | CH/CS |
| 2 | CH/CS |
| 3 | CH/CS |

UNIT A UNIT B UNIT BR

SECOND FLOOR PLAN



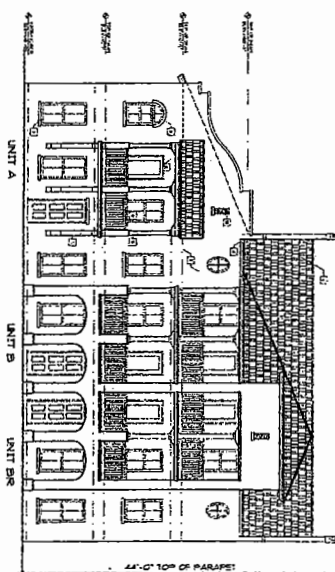
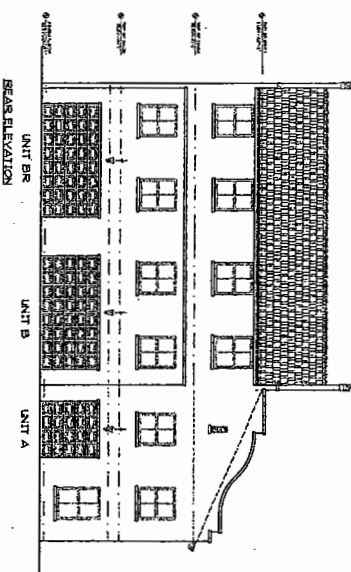
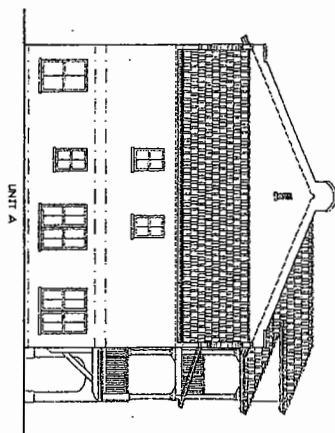
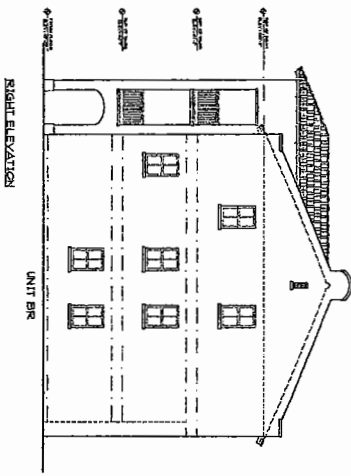
UNIT A

UNIT B

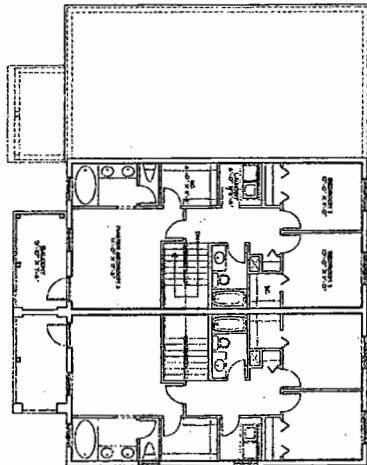
UNIT BR

FIRST FLOOR PLAN

- KEY NOTES**
1. PLANT TILE ROOF
 2. LIGHT TINTED BRICK
 3. 1" x 4" BRICK BAND
 4. 1" x 4" BRICK BAND
 5. 1" x 4" BRICK BAND
 6. 1" x 4" BRICK BAND
 7. 1" x 4" BRICK BAND
 8. 1" x 4" BRICK BAND
 9. 1" x 4" BRICK BAND
 10. 1" x 4" BRICK BAND
 11. 1" x 4" BRICK BAND
 12. 1" x 4" BRICK BAND
 13. 1" x 4" BRICK BAND
 14. 1" x 4" BRICK BAND
 15. 1" x 4" BRICK BAND
 16. 1" x 4" BRICK BAND
 17. 1" x 4" BRICK BAND
 18. 1" x 4" BRICK BAND
 19. 1" x 4" BRICK BAND
 20. 1" x 4" BRICK BAND
 21. 1" x 4" BRICK BAND
 22. 1" x 4" BRICK BAND
 23. 1" x 4" BRICK BAND
 24. 1" x 4" BRICK BAND
 25. 1" x 4" BRICK BAND
 26. 1" x 4" BRICK BAND
 27. 1" x 4" BRICK BAND
 28. 1" x 4" BRICK BAND
 29. 1" x 4" BRICK BAND
 30. 1" x 4" BRICK BAND
 31. 1" x 4" BRICK BAND
 32. 1" x 4" BRICK BAND
 33. 1" x 4" BRICK BAND
 34. 1" x 4" BRICK BAND
 35. 1" x 4" BRICK BAND
 36. 1" x 4" BRICK BAND
 37. 1" x 4" BRICK BAND
 38. 1" x 4" BRICK BAND
 39. 1" x 4" BRICK BAND
 40. 1" x 4" BRICK BAND
 41. 1" x 4" BRICK BAND
 42. 1" x 4" BRICK BAND
 43. 1" x 4" BRICK BAND
 44. 1" x 4" BRICK BAND
 45. 1" x 4" BRICK BAND
 46. 1" x 4" BRICK BAND
 47. 1" x 4" BRICK BAND
 48. 1" x 4" BRICK BAND
 49. 1" x 4" BRICK BAND
 50. 1" x 4" BRICK BAND
 51. 1" x 4" BRICK BAND
 52. 1" x 4" BRICK BAND
 53. 1" x 4" BRICK BAND
 54. 1" x 4" BRICK BAND
 55. 1" x 4" BRICK BAND
 56. 1" x 4" BRICK BAND
 57. 1" x 4" BRICK BAND
 58. 1" x 4" BRICK BAND
 59. 1" x 4" BRICK BAND
 60. 1" x 4" BRICK BAND
 61. 1" x 4" BRICK BAND
 62. 1" x 4" BRICK BAND
 63. 1" x 4" BRICK BAND
 64. 1" x 4" BRICK BAND
 65. 1" x 4" BRICK BAND
 66. 1" x 4" BRICK BAND
 67. 1" x 4" BRICK BAND
 68. 1" x 4" BRICK BAND
 69. 1" x 4" BRICK BAND
 70. 1" x 4" BRICK BAND
 71. 1" x 4" BRICK BAND
 72. 1" x 4" BRICK BAND
 73. 1" x 4" BRICK BAND
 74. 1" x 4" BRICK BAND
 75. 1" x 4" BRICK BAND
 76. 1" x 4" BRICK BAND
 77. 1" x 4" BRICK BAND
 78. 1" x 4" BRICK BAND
 79. 1" x 4" BRICK BAND
 80. 1" x 4" BRICK BAND
 81. 1" x 4" BRICK BAND
 82. 1" x 4" BRICK BAND
 83. 1" x 4" BRICK BAND
 84. 1" x 4" BRICK BAND
 85. 1" x 4" BRICK BAND
 86. 1" x 4" BRICK BAND
 87. 1" x 4" BRICK BAND
 88. 1" x 4" BRICK BAND
 89. 1" x 4" BRICK BAND
 90. 1" x 4" BRICK BAND
 91. 1" x 4" BRICK BAND
 92. 1" x 4" BRICK BAND
 93. 1" x 4" BRICK BAND
 94. 1" x 4" BRICK BAND
 95. 1" x 4" BRICK BAND
 96. 1" x 4" BRICK BAND
 97. 1" x 4" BRICK BAND
 98. 1" x 4" BRICK BAND
 99. 1" x 4" BRICK BAND
 100. 1" x 4" BRICK BAND



THIRD FLOOR PLAN



7/13/2005
PAUL R. SOTOLONGO
REGISTERED ARCHITECT, NO. 11112

3 UNIT
BUILDING 3
SCALE 1/8" = 1'-0"
DRAWN BY
DATE 10/28/04
JOB C-0401
SHEET
A-2
OF
SHEETS

TOWNHOUSES

**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**

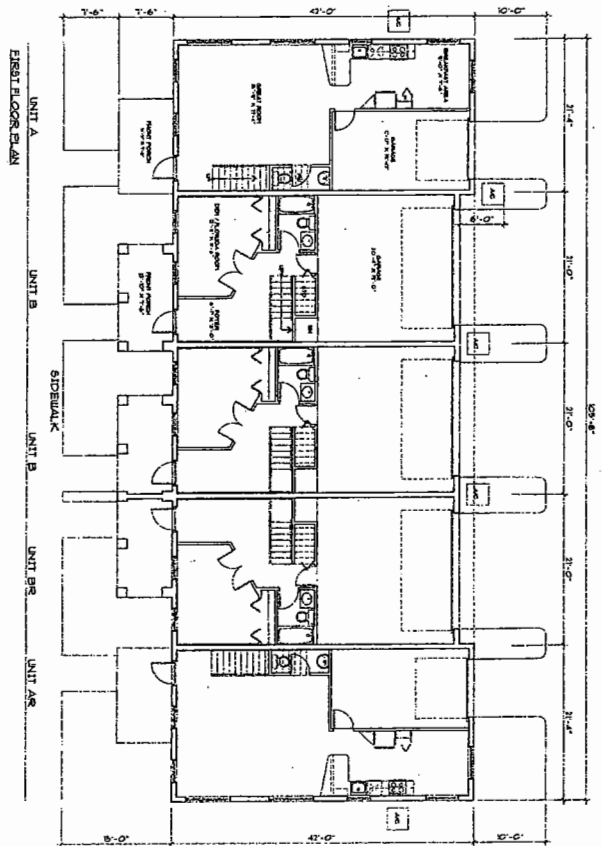
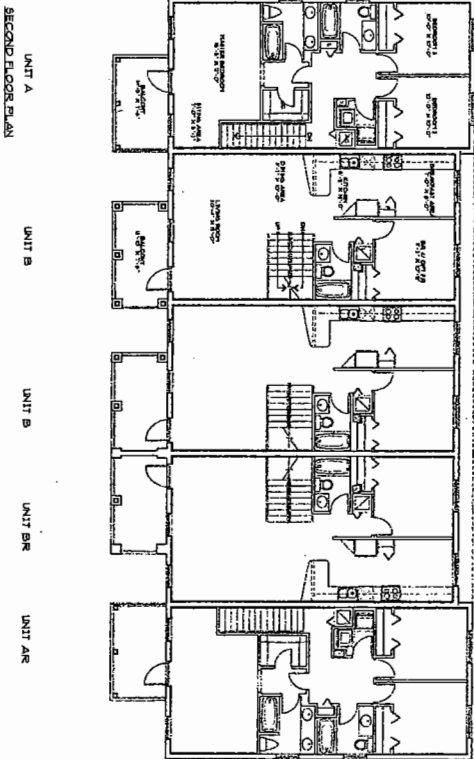
MIAMI-DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

SOTOLONGO ARCHITECTS

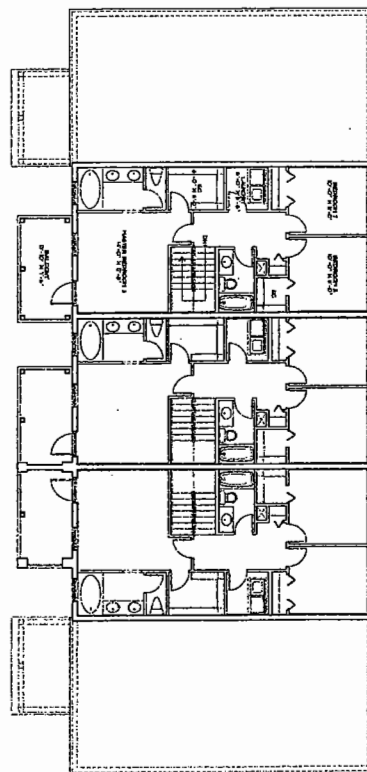
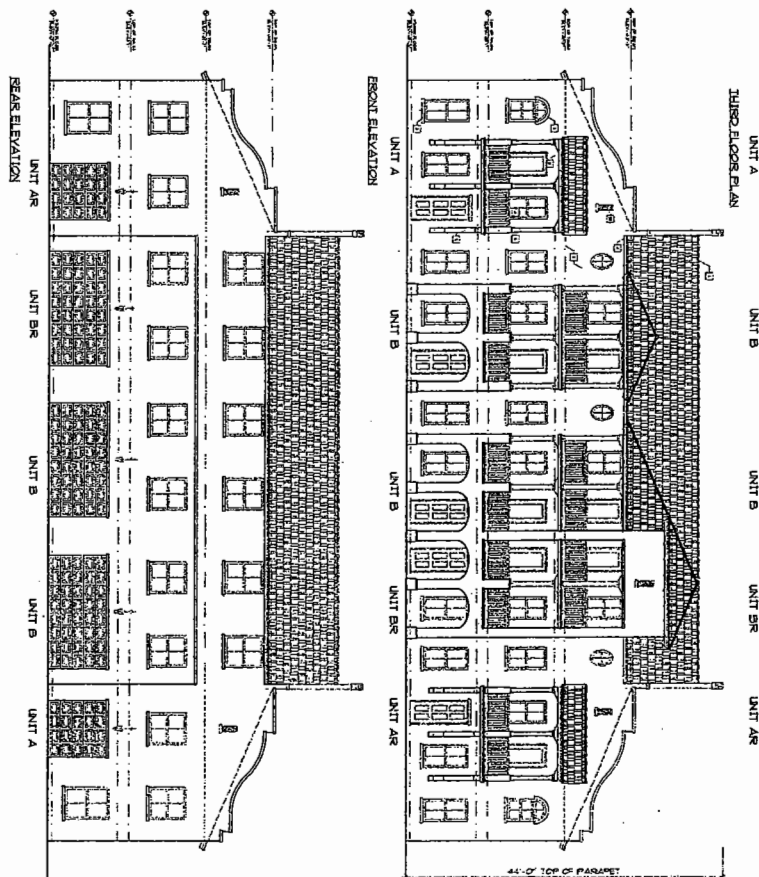
10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 563-9795
FAX: (305) 563-0096
CORP. LICENSE 0002489

| REVISION | DATE | BY |
|----------|------|----|
| | | |
| | | |
| | | |
| | | |

| UNIT A | | UNIT B | |
|-------------------|------|-------------------|------|
| AREA SUBTANT | | AREA SUBTANT | |
| 1ST FLOOR A/C | 640 | 1ST FLOOR A/C | 437 |
| 2ND FLOOR A/C | 860 | 2ND FLOOR A/C | 494 |
| TOTAL A/C | 1500 | TOTAL A/C | 931 |
| GAUGE | 213 | GAUGE | 40 |
| WATER METER | 85 | WATER METER | 40 |
| BAILOON | 85 | BAILOON | 104 |
| TOTAL | 383 | TOTAL | 194 |
| UNIT B | | UNIT C | |
| AREA SUBTANT | | AREA SUBTANT | |
| 1ST FLOOR A/C | 437 | 1ST FLOOR A/C | 437 |
| 2ND FLOOR A/C | 494 | 2ND FLOOR A/C | 494 |
| 3RD FLOOR A/C | 876 | 3RD FLOOR A/C | 876 |
| TOTAL A/C | 1807 | TOTAL A/C | 1807 |
| GAUGE | 40 | GAUGE | 40 |
| WATER METER | 40 | WATER METER | 40 |
| 2ND FLOOR BAICONT | 104 | 2ND FLOOR BAICONT | 104 |
| 3RD FLOOR BAICONT | 104 | 3RD FLOOR BAICONT | 104 |
| TOTAL | 2035 | TOTAL | 2035 |



3. LIGHT TEMPLERD STUCCO
4. 1" X 4" STUCCO BOARD
5. 2" X 8" FASCIA
6. WOOD DECORATIVE COLUMN
7. WOOD RAILING
8. DECORATIVE WOOD BRACKET
9. KETSTONE FINISH STUCCO
10. COVERED STIRROPOST HOLDING
11. LIGHT FINISHES
12. DECORATIVE VENT



7/15/2005

| | | | |
|--------------------|--|----------|--|
| SCALE 1/8" = 1'-0" | | 5 UNIT | |
| CHECKED BY | | DRAWN BY | |
| DATE 10/28/04 | | JOB 0401 | |
| SHEET | | SHEET | |
| A-4 | | A-4 | |
| OF | | SHEET | |

TOWNHOUSES

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI-DADE COUNTY, FLORIDA.
LANDSEA DEVELOPMENTS



SOTOLONGO

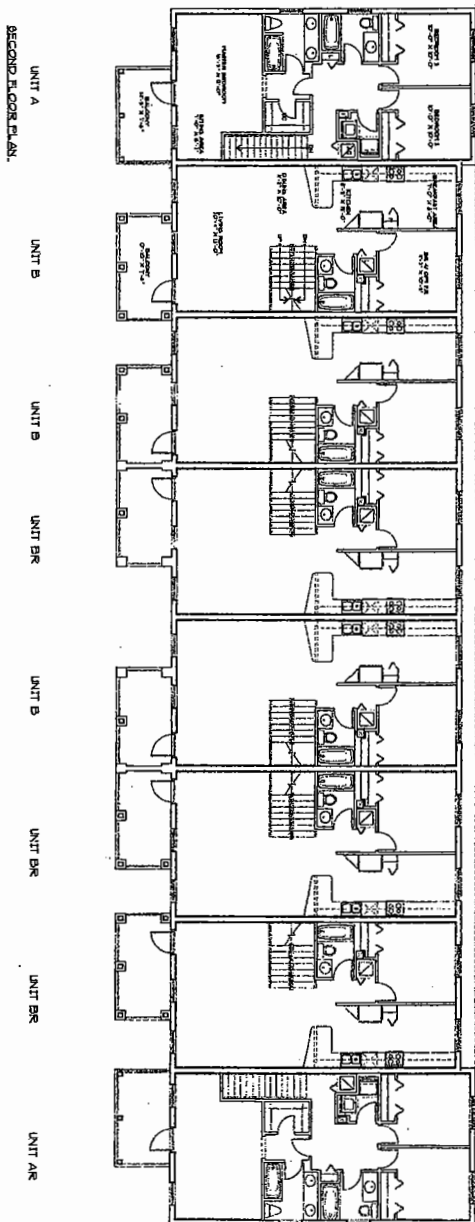
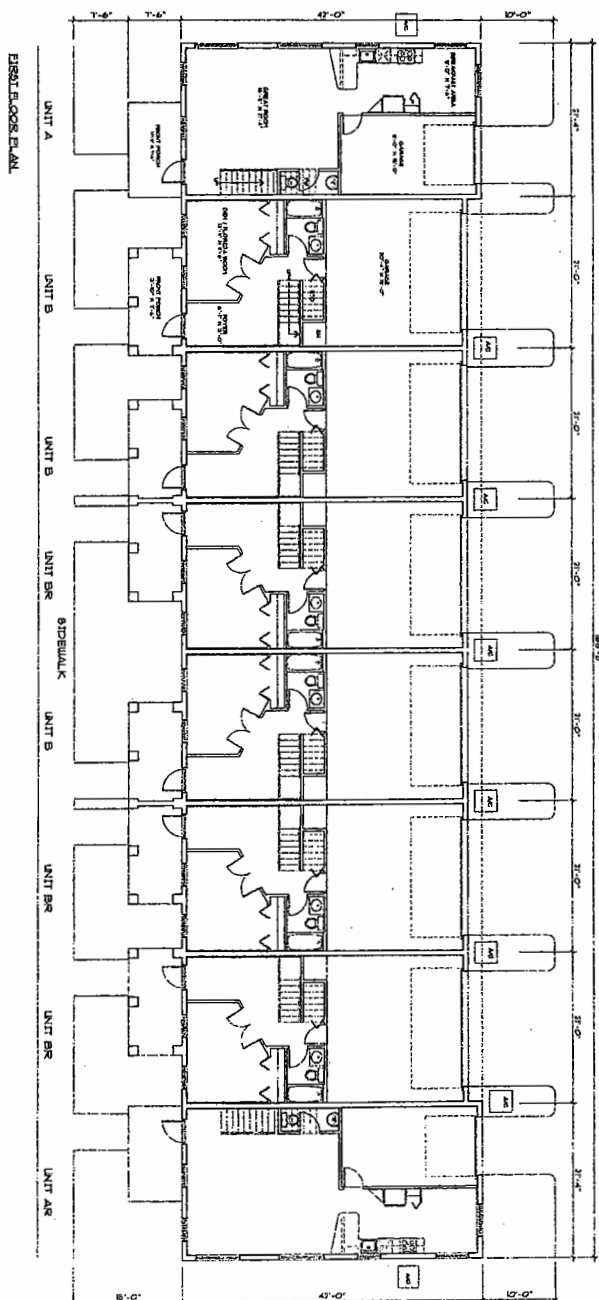
10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE 0002489

[illegible]

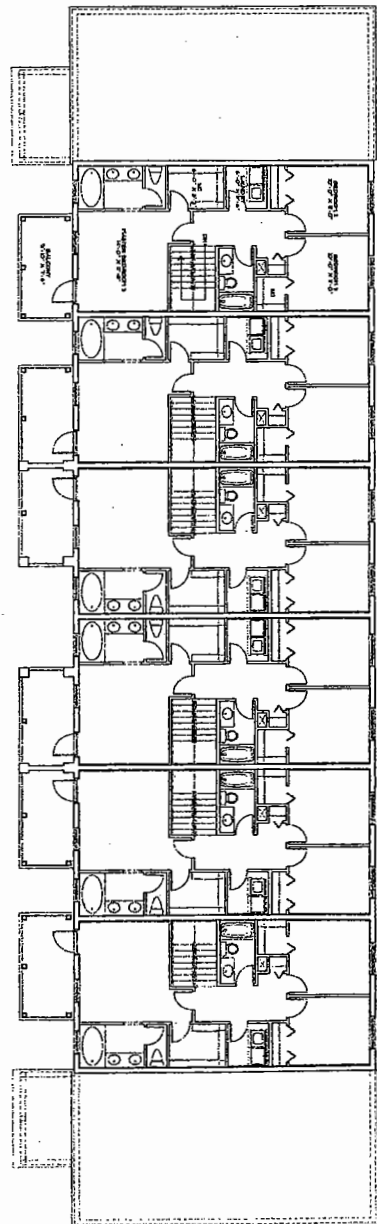
UNIT ASSESSMENT

[illegible]

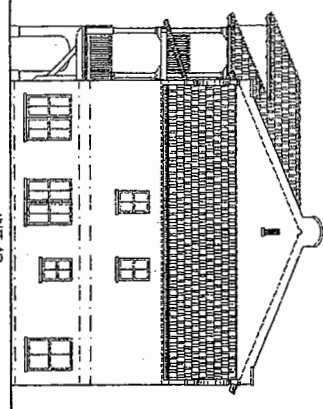
SECOND FLOOR PLAN.



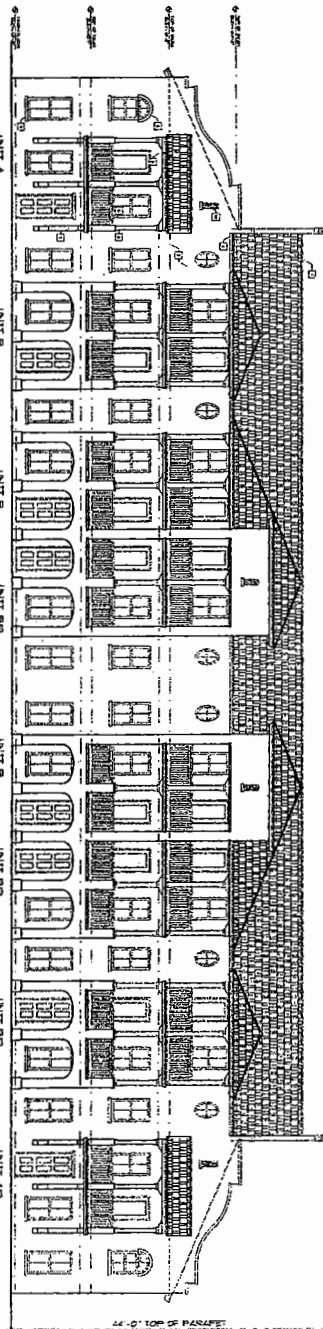
NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS APPROVED BY THE ARCHITECT.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE CITY OF MIAMI.



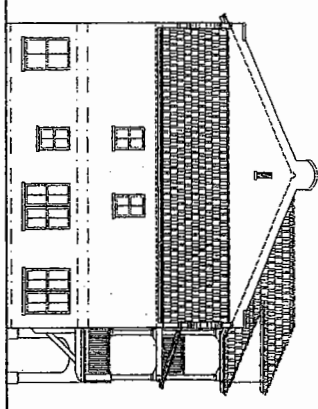
UNIT A UNIT B UNIT BR UNIT B UNIT BR UNIT B UNIT BR UNIT B UNIT BR UNIT B UNIT BR UNIT A



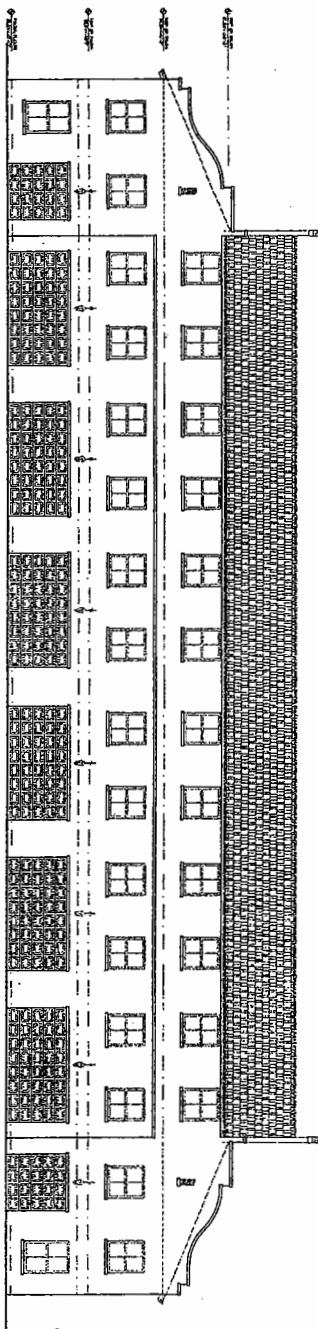
RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE 0002489

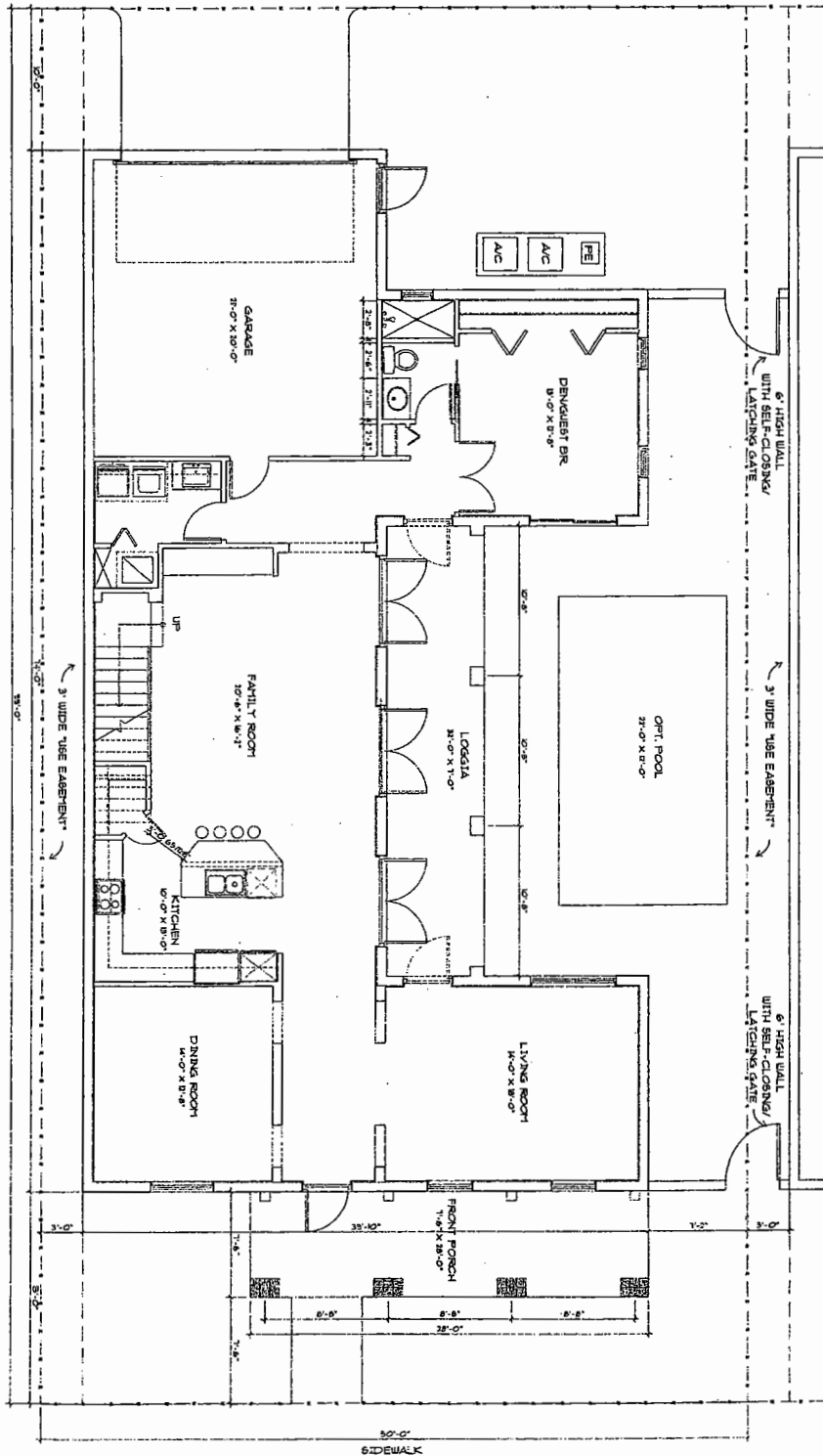
SOTOLONGO ARCHITECTS

**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI-DADE COUNTY, FLORIDA.
LANDSEA DEVELOPMENTS

TOWNHOUSES
8 UNIT
BOOK 1
SCALE 1/8" = 1'-0"
DESIGNED BY
DATE 10/28/04
JOB C-607
SHEET 11 OF 11

7/15/0005
RAUL R. SOTOLONGO
REGISTERED ARCHITECT, N. 00077113

FIRST FLOOR PLAN



| AREA SUMMARY | |
|--------------------|-----------|
| A/C 1ST FLOOR PLAN | 1,733 SF. |
| A/C 2ND FLOOR PLAN | 1,427 SF. |
| TOTAL A/C | 3,160 SF. |
| GARAGE | 454 SF. |
| BALCONIES | 431 SF. |
| LOGGIA | 276 SF. |
| FRONT PORCH | 210 SF. |
| TOTAL | 4,479 SF. |

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

MODEL-A

SCALE 1/4" = 1'-0"

ORDERED BY

DRAWN BY A.S.

DATE 10/28/04

SHEET NO.

PROJECT

A-9

SHEETS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9795
FAX: (305) 593-0086
CORP. LICENSE 0002469

STICHELHART

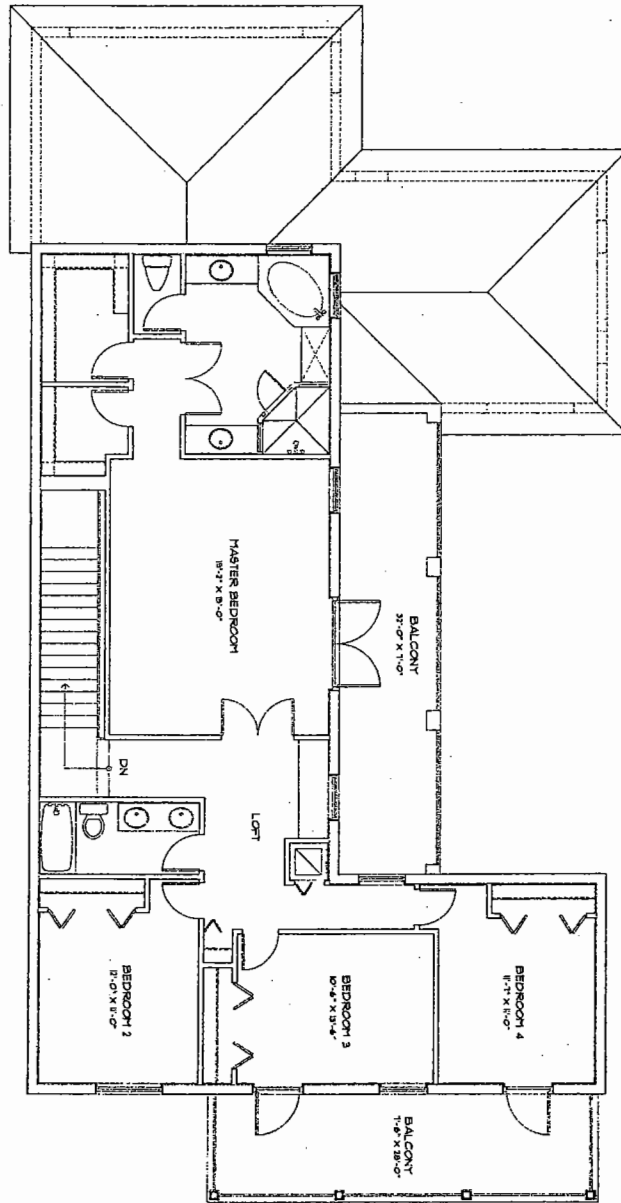
SOTOLONGO

7/15/2005

MILLER, R. SOTOLONGO

REVISION 1.0

SECOND FLOOR PLAN



7/15/2005
RAUL R. SOTOLOONGO
REGISTERED ARCHITECT
NO. 14817-1

MODEL-A
SCALE 1/4" = 1'-0"
CHECKED BY
DRAWN BY A.S.
DATE 10/28/04
JOB C-401
SHEET
A-10
OF 10
SHEET

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

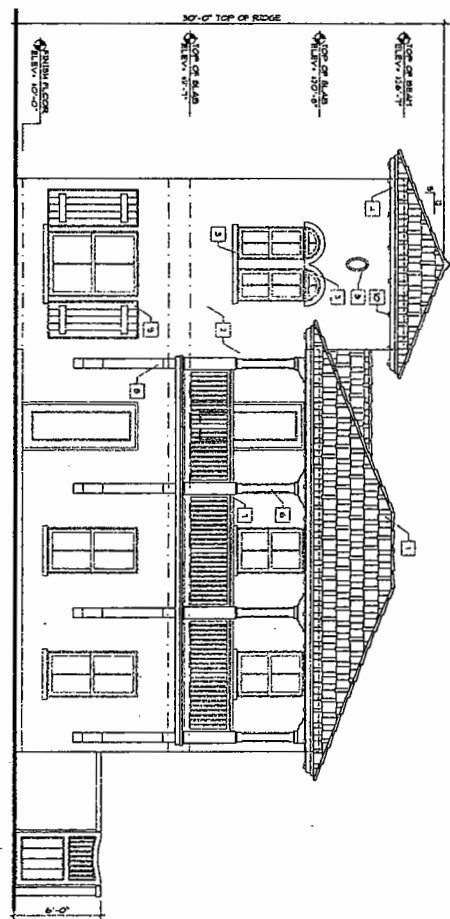
OTOLONGO
ARCHITECTS

10830 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9758
FAX: (305) 593-0096
CORP. LICENSE 0002489

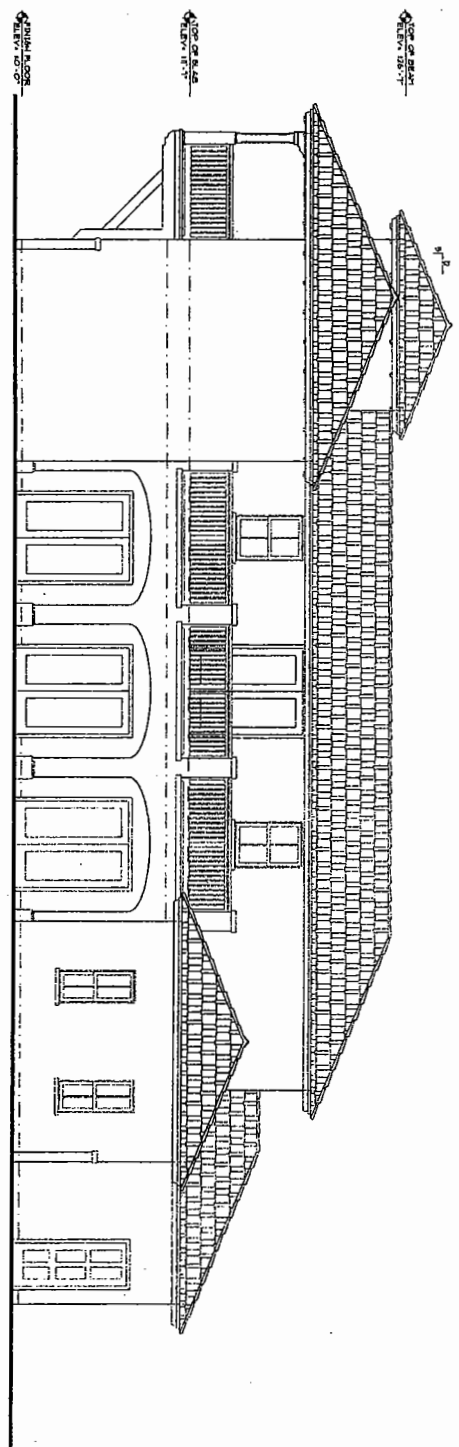
| REVISION | BY |
|----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

KEY NOTES

1. CERAMIC TILE ROOF
2. 1" X 4" BRICK BAND
3. 1" X 4" BRICK BAND
4. 1" X 4" BRICK BAND
5. DECORATIVE METALLIC
6. DECORATIVE METALLIC
7. DECORATIVE METALLIC
8. DECORATIVE METALLIC
9. DECORATIVE METALLIC
10. DECORATIVE METALLIC
11. DECORATIVE METALLIC
12. DECORATIVE METALLIC
13. DECORATIVE METALLIC
14. DECORATIVE METALLIC
15. DECORATIVE METALLIC
16. DECORATIVE METALLIC
17. DECORATIVE METALLIC
18. DECORATIVE METALLIC
19. DECORATIVE METALLIC
20. DECORATIVE METALLIC
21. DECORATIVE METALLIC
22. DECORATIVE METALLIC
23. DECORATIVE METALLIC
24. DECORATIVE METALLIC
25. DECORATIVE METALLIC
26. DECORATIVE METALLIC
27. DECORATIVE METALLIC
28. DECORATIVE METALLIC
29. DECORATIVE METALLIC
30. DECORATIVE METALLIC
31. DECORATIVE METALLIC
32. DECORATIVE METALLIC
33. DECORATIVE METALLIC
34. DECORATIVE METALLIC
35. DECORATIVE METALLIC
36. DECORATIVE METALLIC
37. DECORATIVE METALLIC
38. DECORATIVE METALLIC
39. DECORATIVE METALLIC
40. DECORATIVE METALLIC
41. DECORATIVE METALLIC
42. DECORATIVE METALLIC
43. DECORATIVE METALLIC
44. DECORATIVE METALLIC
45. DECORATIVE METALLIC
46. DECORATIVE METALLIC
47. DECORATIVE METALLIC
48. DECORATIVE METALLIC
49. DECORATIVE METALLIC
50. DECORATIVE METALLIC
51. DECORATIVE METALLIC
52. DECORATIVE METALLIC
53. DECORATIVE METALLIC
54. DECORATIVE METALLIC
55. DECORATIVE METALLIC
56. DECORATIVE METALLIC
57. DECORATIVE METALLIC
58. DECORATIVE METALLIC
59. DECORATIVE METALLIC
60. DECORATIVE METALLIC
61. DECORATIVE METALLIC
62. DECORATIVE METALLIC
63. DECORATIVE METALLIC
64. DECORATIVE METALLIC
65. DECORATIVE METALLIC
66. DECORATIVE METALLIC
67. DECORATIVE METALLIC
68. DECORATIVE METALLIC
69. DECORATIVE METALLIC
70. DECORATIVE METALLIC
71. DECORATIVE METALLIC
72. DECORATIVE METALLIC
73. DECORATIVE METALLIC
74. DECORATIVE METALLIC
75. DECORATIVE METALLIC
76. DECORATIVE METALLIC
77. DECORATIVE METALLIC
78. DECORATIVE METALLIC
79. DECORATIVE METALLIC
80. DECORATIVE METALLIC
81. DECORATIVE METALLIC
82. DECORATIVE METALLIC
83. DECORATIVE METALLIC
84. DECORATIVE METALLIC
85. DECORATIVE METALLIC
86. DECORATIVE METALLIC
87. DECORATIVE METALLIC
88. DECORATIVE METALLIC
89. DECORATIVE METALLIC
90. DECORATIVE METALLIC
91. DECORATIVE METALLIC
92. DECORATIVE METALLIC
93. DECORATIVE METALLIC
94. DECORATIVE METALLIC
95. DECORATIVE METALLIC
96. DECORATIVE METALLIC
97. DECORATIVE METALLIC
98. DECORATIVE METALLIC
99. DECORATIVE METALLIC
100. DECORATIVE METALLIC



FRONT ELEVATION 1/4"



RIGHT ELEVATION 1/4"

7/15/2005
MIAMI R. SOTOLONGO
ARCHITECT, P.A. 2007 113

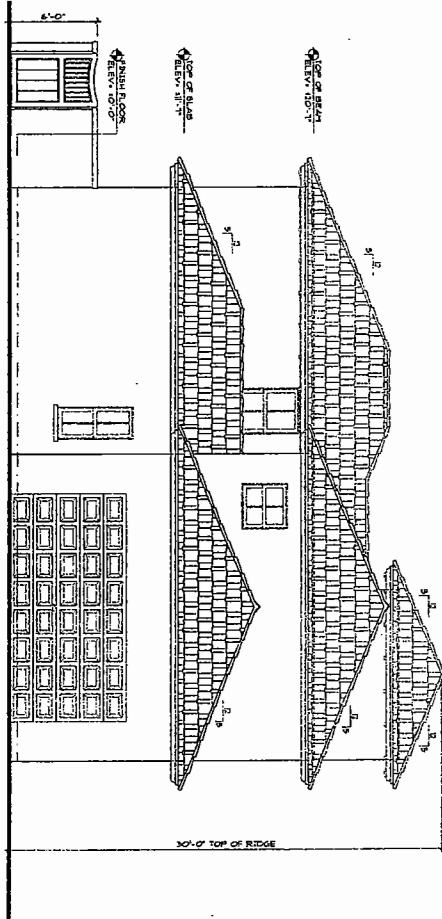
**PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY**
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

10830 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 553-9796
FAX: (305) 553-0096
CORP. LICENSE 0002489

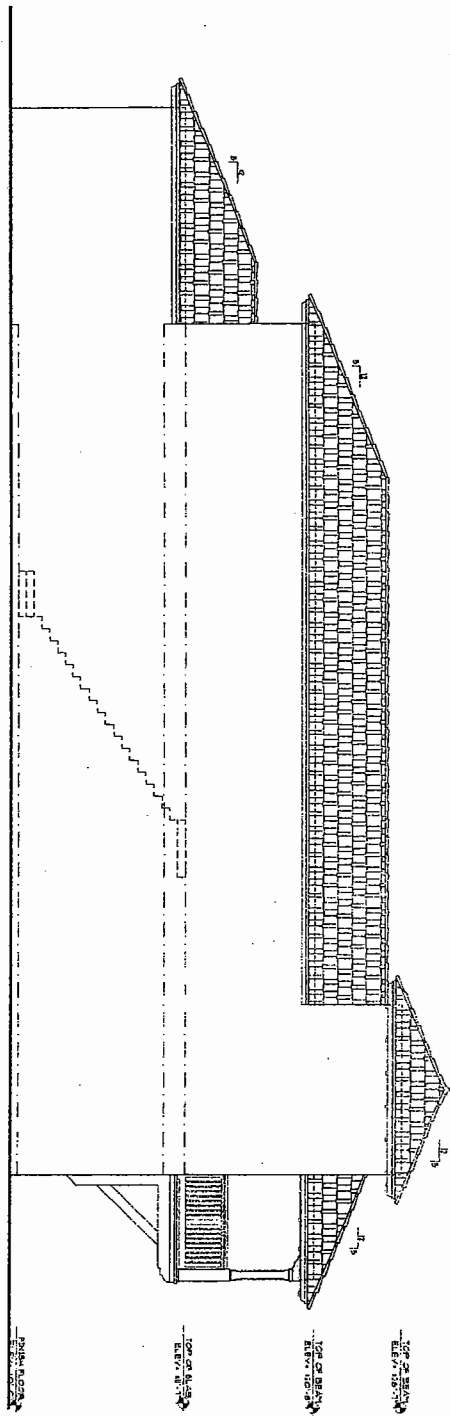
MODEL-A
SINGLE FAMILY
SCALE 1/4" = 1'-0"
DRAWN BY: A.S.
DATE: 10/28/04
JOB: 0401
SHEET: A-II
OF: 11

SOTOLONGO ARCHITECTS

REVISIONS
BY
DATE



REAR ELEVATION 1/4"



LEFT ELEVATION 1/4"

7/15/2003
JAN R. SOTO LONGO
REGISTERED ARCHITECT, N. 0007113

MODEL-A
SCALE 1/4" = 1'-0"
DRAWN BY A.S.
CHECKED BY
DATE 10/26/04
JOB 0401
SHEET
A-12
PROJECT

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

SOTOLONGO
ARCHITECTS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9796
FAX: (305) 593-0096
CORP. LICENSE 0002489

| REVISION | BY |
|----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

Floor plan of a single-story house with the following rooms and dimensions:

- Garage:** 20'-0" x 21'-6"
- Opt. Room:** 24'-0" x 14'-0"
- Living Room:** 12'-0" x 18'-0"
- Dining Room:** 8'-0" x 12'-0"
- Family Room:** 11'-0" x 11'-0"
- Bed Room:** 10'-0" x 11'-0"
- Bed Room:** 10'-0" x 11'-0"
- Kitchen:** 8'-0" x 11'-0"
- Nook:** 8'-0" x 6'-0"
- Laundry:** 5'-0" x 8'-0"
- Bath:** 5'-0" x 6'-0"
- Staircase:** Located between the kitchen and the living room.

Exterior dimensions and features:

- Overall Width:** 38'-0"
- Overall Depth:** 34'-0"
- Side Wall:** 6' high wall with self-closing latching gates.
- Use Easement:** 3' wide use easement.
- Sidewalk:** 6'-0" wide sidewalk.

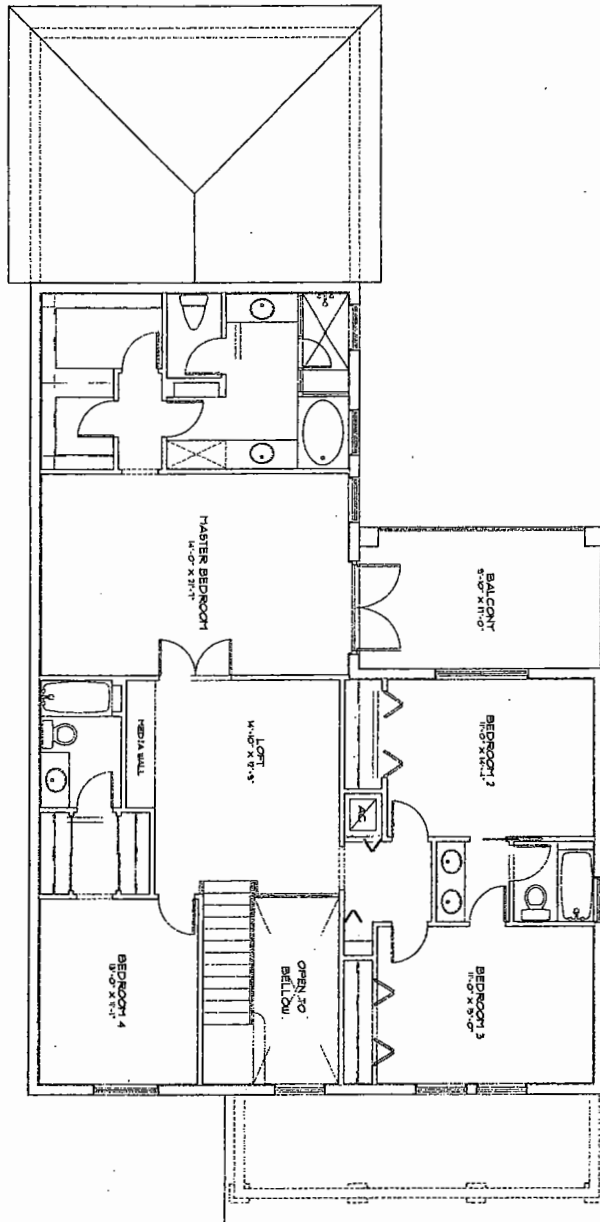
| AREA SUMMARY | |
|--------------------|-----------|
| A/C 1ST FLOOR PLAN | 1723 SF. |
| A/C 2ND FLOOR PLAN | 1862 SF. |
| TOTAL A/C | 3,585 SF. |
| GARAGE | 417 SF. |
| FRONT PORCH | 194 SF. |
| BALCONY | 167 SF. |
| LOGGIA | 167 SF. |
| TOTAL | 4,305 SF. |

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9796
FAX: (305) 593-0096
CORP. LICENSE 0002482

7/15/2005

SECOND FLOOR PLAN



7/15/2005
BANK & SOTOLONGO
ARCHITECT, P.A. 0002489

SCALE 1/4" = 1'-0"
DRAWN BY A.S.
DATE 07/28/04
JAN ODOT
SHEET
A-14
SHEET 10

MODEL-B
SINGLE FAMILY
PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

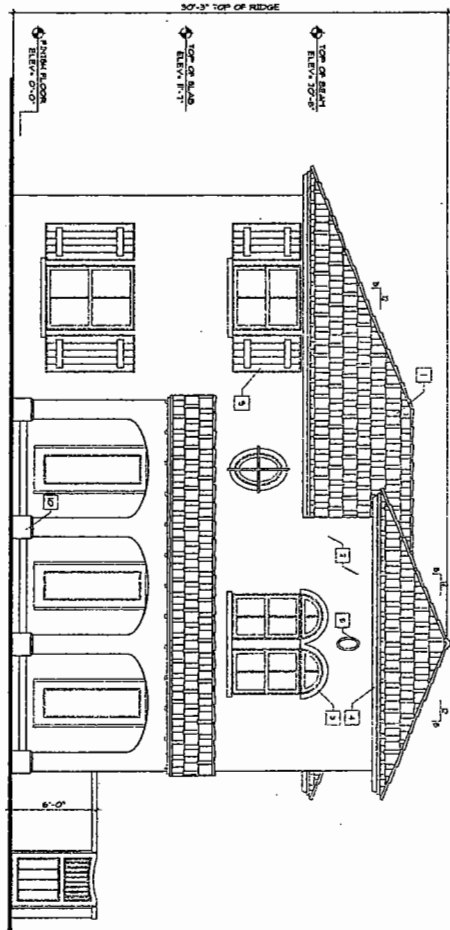
SOTOLONGO
ARCHITECTS

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-8788
FAX: (305) 593-0096
CORP. LICENSE 0002489

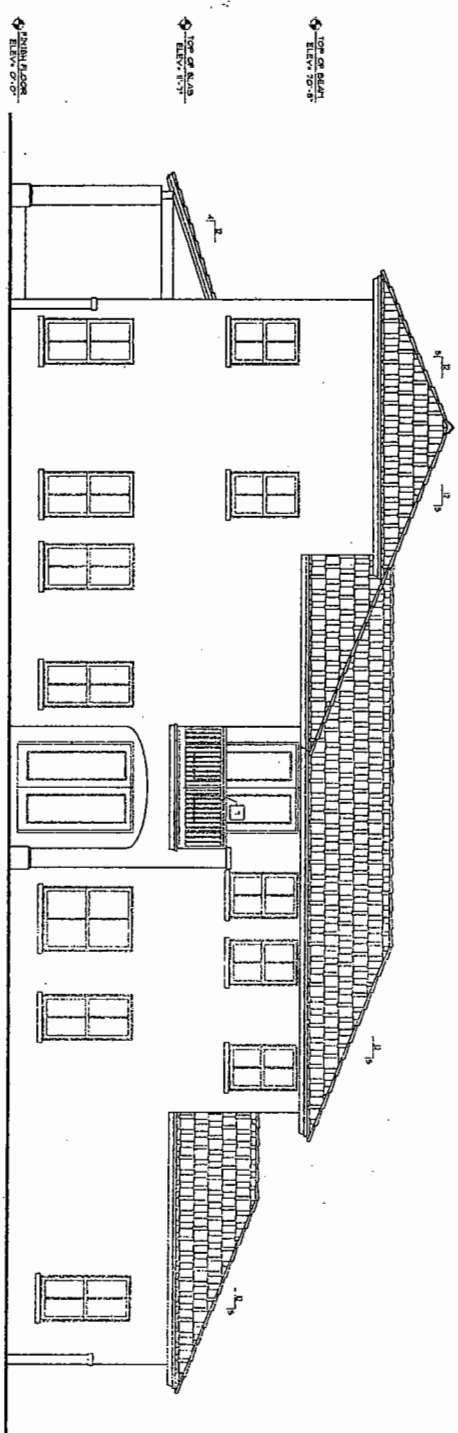
| REVISIONS | BY | DATE |
|-----------|----|------|
| | | |
| | | |
| | | |
| | | |
| | | |

KEY NOTES

1. CERAMIC TILE ROOF
2. LIGHT TONED BRICK
3. 4" X 8" BRICK
4. 2" X 4" BRICK
5. DECORATIVE PIEDestal
6. WOOD DECORATIVE COLUMN
7. WOOD MAILING
8. WOOD MAILING
9. DECORATIVE BRICK PATTER
10. KERITONE BRICK BRICK
11. KERITONE BRICK BRICK
12. KERITONE BRICK BRICK
13. KERITONE BRICK BRICK
14. KERITONE BRICK BRICK
15. KERITONE BRICK BRICK
16. KERITONE BRICK BRICK
17. KERITONE BRICK BRICK
18. KERITONE BRICK BRICK
19. KERITONE BRICK BRICK
20. KERITONE BRICK BRICK
21. KERITONE BRICK BRICK
22. KERITONE BRICK BRICK
23. KERITONE BRICK BRICK
24. KERITONE BRICK BRICK
25. KERITONE BRICK BRICK
26. KERITONE BRICK BRICK
27. KERITONE BRICK BRICK
28. KERITONE BRICK BRICK
29. KERITONE BRICK BRICK
30. KERITONE BRICK BRICK
31. KERITONE BRICK BRICK
32. KERITONE BRICK BRICK
33. KERITONE BRICK BRICK
34. KERITONE BRICK BRICK
35. KERITONE BRICK BRICK
36. KERITONE BRICK BRICK
37. KERITONE BRICK BRICK
38. KERITONE BRICK BRICK
39. KERITONE BRICK BRICK
40. KERITONE BRICK BRICK
41. KERITONE BRICK BRICK
42. KERITONE BRICK BRICK
43. KERITONE BRICK BRICK
44. KERITONE BRICK BRICK
45. KERITONE BRICK BRICK
46. KERITONE BRICK BRICK
47. KERITONE BRICK BRICK
48. KERITONE BRICK BRICK
49. KERITONE BRICK BRICK
50. KERITONE BRICK BRICK
51. KERITONE BRICK BRICK
52. KERITONE BRICK BRICK
53. KERITONE BRICK BRICK
54. KERITONE BRICK BRICK
55. KERITONE BRICK BRICK
56. KERITONE BRICK BRICK
57. KERITONE BRICK BRICK
58. KERITONE BRICK BRICK
59. KERITONE BRICK BRICK
60. KERITONE BRICK BRICK
61. KERITONE BRICK BRICK
62. KERITONE BRICK BRICK
63. KERITONE BRICK BRICK
64. KERITONE BRICK BRICK
65. KERITONE BRICK BRICK
66. KERITONE BRICK BRICK
67. KERITONE BRICK BRICK
68. KERITONE BRICK BRICK
69. KERITONE BRICK BRICK
70. KERITONE BRICK BRICK
71. KERITONE BRICK BRICK
72. KERITONE BRICK BRICK
73. KERITONE BRICK BRICK
74. KERITONE BRICK BRICK
75. KERITONE BRICK BRICK
76. KERITONE BRICK BRICK
77. KERITONE BRICK BRICK
78. KERITONE BRICK BRICK
79. KERITONE BRICK BRICK
80. KERITONE BRICK BRICK
81. KERITONE BRICK BRICK
82. KERITONE BRICK BRICK
83. KERITONE BRICK BRICK
84. KERITONE BRICK BRICK
85. KERITONE BRICK BRICK
86. KERITONE BRICK BRICK
87. KERITONE BRICK BRICK
88. KERITONE BRICK BRICK
89. KERITONE BRICK BRICK
90. KERITONE BRICK BRICK
91. KERITONE BRICK BRICK
92. KERITONE BRICK BRICK
93. KERITONE BRICK BRICK
94. KERITONE BRICK BRICK
95. KERITONE BRICK BRICK
96. KERITONE BRICK BRICK
97. KERITONE BRICK BRICK
98. KERITONE BRICK BRICK
99. KERITONE BRICK BRICK
100. KERITONE BRICK BRICK



FRONT ELEVATION 1/4"



RIGHT ELEVATION 1/4"

Architectural drawing showing the roof and exterior elevations of a building. The drawing is oriented vertically on the page. The roof is labeled "TOP OF RIDGE" and "ELEV. 10'-0\"". The exterior wall is labeled "ELEV. 10'-0\"". The drawing includes a section line "A-A" and a section cut "A-A". The roof is shown with a gabled structure. The exterior wall features a large window with a decorative frame. The drawing is oriented vertically on the page.

Technical drawing of a roof structure, likely a gabled roof, showing three distinct sections labeled A, B, and C. The drawing is oriented vertically, with the roof sections extending from left to right. Section A is the largest, followed by B, and then C. The drawing includes structural details like rafters and a cross-section of a wall at the bottom.

TOP OF SECTION
ELEV. 10.0'

TOP OF MAIN
ELEV. 8.7'

FOOTING
ELEV. 0.0'

EAD FILE NO. P:\PROJECTS\JANUARY\C407\S\MOCKL B\B407.BT\B06-PC\TEXT\TY: B06M1.PC ON 07/14/08 AT 09:45

7/15/2805

| |
|--------------------|
| SINGLE FAMILY |
| MODEL-B |
| SCALE 3/4" = 1'-0" |
| CHECKED BY |
| DRAWN BY A.S. |
| DATE 10/28/04 |
| JOB 0401 |
| SHEET |
| A-16 |
| OF |
| SHEETS |

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS



SOTOLONGO

10630 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0096
CORP. LICENSE 0002489

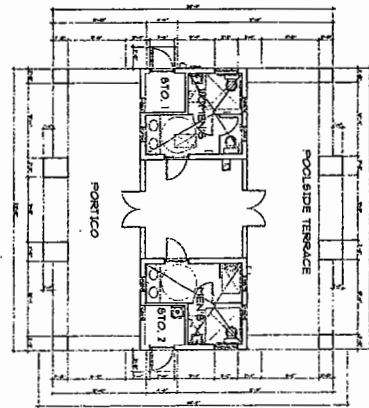
[illegible]

AREA SUMMARY

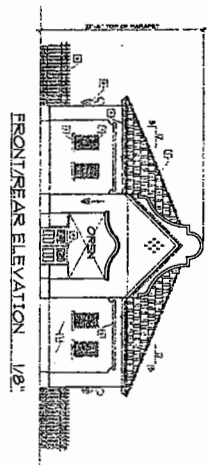
| | |
|------------------|--------|
| AREA | NO. OF |
| PORTICO | NO. OF |
| POOLSIDE TERRACE | NO. OF |
| STORAGE 1 | NO. OF |
| STORAGE 2 | NO. OF |
| STORAGE 3 | NO. OF |
| TOTAL AREA | NO. OF |

KEY NOTES

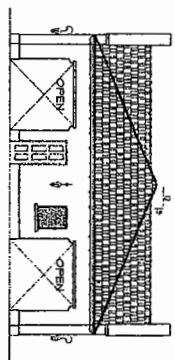
1. LIGHT TINTED BRICK
2. FLAT CERAMIC TILE ROOF
3. 10' X 10' ALUMINUM LANTERN LIGHTS WITH LANTERN PANE
4. 1' X 6' BROWN BRICK BAND
5. CONCRETE
6. DECORATIVE BRICK SLATS
7. ALUMINUM LANTERN PANE
8. LIGHT POINTE



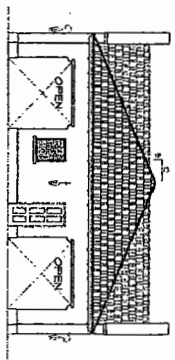
FLOOR PLAN 1/8"



FRONT/REAR ELEVATION 1/8"



RIGHT ELEVATION 1/8"



LEFT ELEVATION 1/8"

CABANA

PALMS OF CORAL REEF
RESIDENTIAL COMMUNITY
MIAMI DADE COUNTY, FLORIDA
LANDSEA DEVELOPMENTS

CABANA

| |
|--------------------|
| SCALE 1/8" = 1'-0" |
| CHECKED BY |
| DRAWN BY A.S. |
| DATE 10/28/04 |
| JOB 0401 |
| SHEET |
| A-17 |
| NOTES |

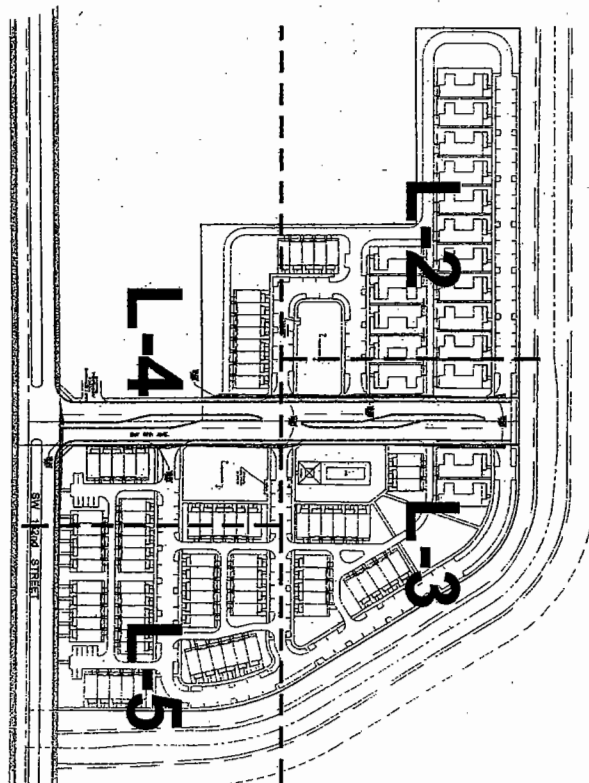
7/1/2005

PROJECT: N. AR-7112

10530 NORTHWEST 27TH STREET
MIAMI, FLORIDA 33172
TELEPHONE: (305) 593-9798
FAX: (305) 593-0095
CORP. LICENSE 0002488

SOTOLONGO ARCHITECTS

| | |
|-----------|----|
| REVISIONS | BY |
| | |
| | |
| | |



- L-1 SHEET INDEX.**
L-2 OVERALL LANDSCAPE PLAN.
L-3 OVERALL LANDSCAPE PLAN.
L-4 OVERALL LANDSCAPE PLAN.
L-5 OVERALL LANDSCAPE PLAN.
L-6 TYPICAL 5-UNIT TOWNHOUSE LANDSCAPE PLAN.
L-7 TYPICAL SINGLE FAMILY UNIT-A AND UNIT-B LANDSCAPE PLANS.
L-8 LANDSCAPE DETAILS.

OVERALL LANDSCAPE LIST

| QTY | SYMBOL | COMMON NAME | SCIENTIFIC NAME | HEIGHT |
|-----|--------|-------------|-----------------|----------------|
| 68 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 10 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 11 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 5 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 11 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 29 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 12 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 21 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 12 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 15 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 25 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 13 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 18 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 18 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |
| 14 | ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. |

* Indicates Native Species

* The provided number of trees is based on the following:
 - COMMON AREA 240
 - BUILDINGS 24
 - TOTAL 264

| BUILDINGS | QTY | # OF TREES | TOTAL TREES |
|--------------------|-----|------------|-------------|
| 5-UNIT TOWNHOUSE | 8 | 12 | 96 |
| 5-UNIT TOWNHOUSE | 8 | 12 | 96 |
| 5-UNIT TOWNHOUSE | 1 | 12 | 12 |
| TOTAL TREES | | | 264 |

NOTES:
 1. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.
 2. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.
 3. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.

LANDSCAPE (LEGEND) Information Required to be Furnished to the
 Zoning District, 200.
 REQUIRED PROVIDED

| SYMBOL | PLANT | NAME | CULTURE | HEIGHT | QUANTITY |
|--------|-------------|--------------|----------------|--------|----------|
| ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. | 12 | 96 |
| ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. | 12 | 96 |
| ☉ | COMMON FERN | Adiantum sp. | 12" to 18" Ht. | 12 | 12 |

NOTES:
 1. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.
 2. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.
 3. ALL TREES TO BE PLANTED WITHIN THE TOWNHOUSE LOT.

Palms of Coral Reef
 Prepared for Landsea Development
 Miami-Dade County, Florida
 LANDSCAPE PLAN

WITKIN
 DESIGN GROUP
 1945 E. 10th Avenue
 Suite 200
 Miami, FL 33136
 Tel: 305-445-4444
 Fax: 305-445-4444

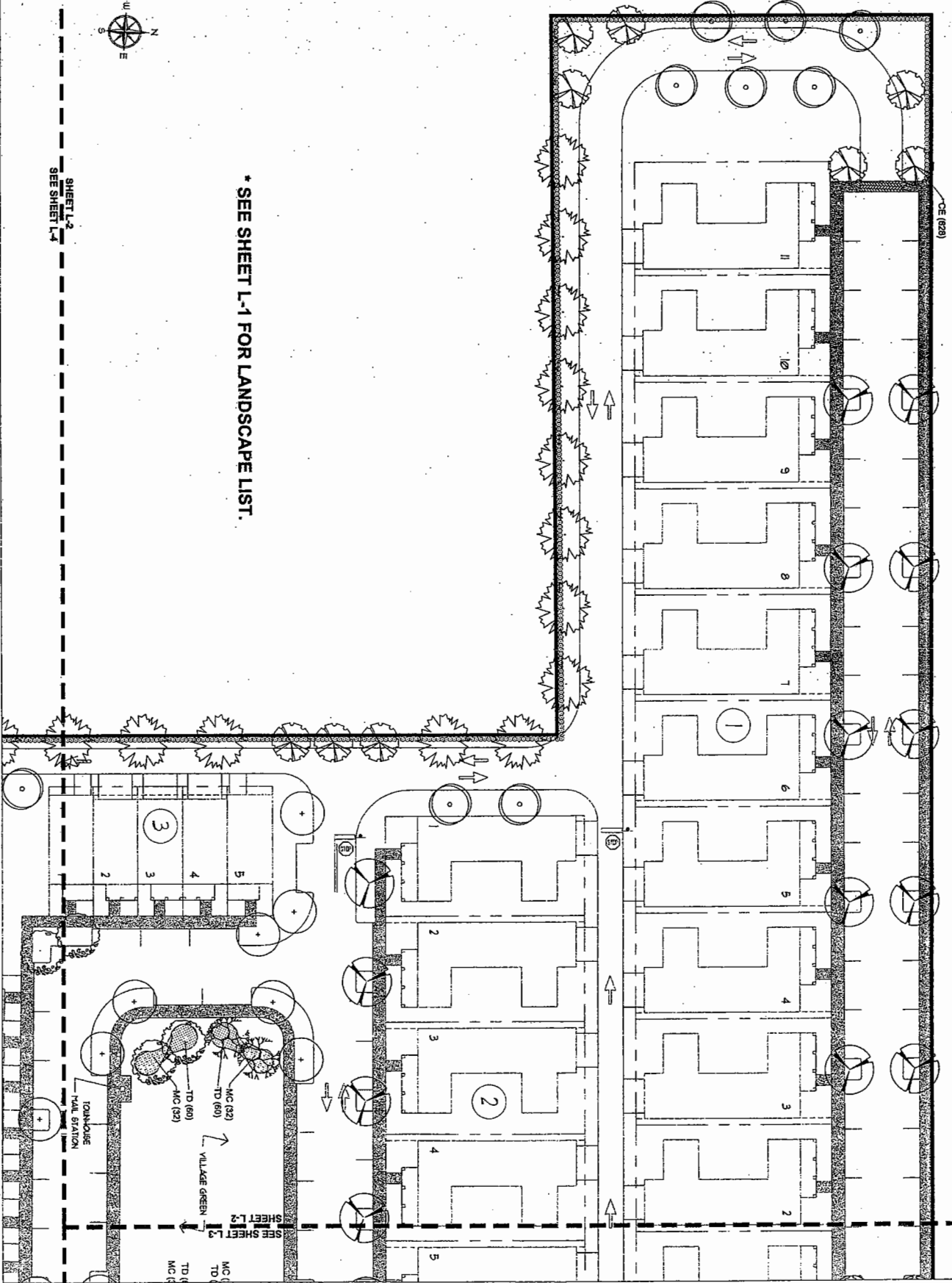
7/14/05
 7/14/05

7/14/05
 7/14/05



SHEET L-2
SEE SHEET L-1

* SEE SHEET L-1 FOR LANDSCAPE LIST.



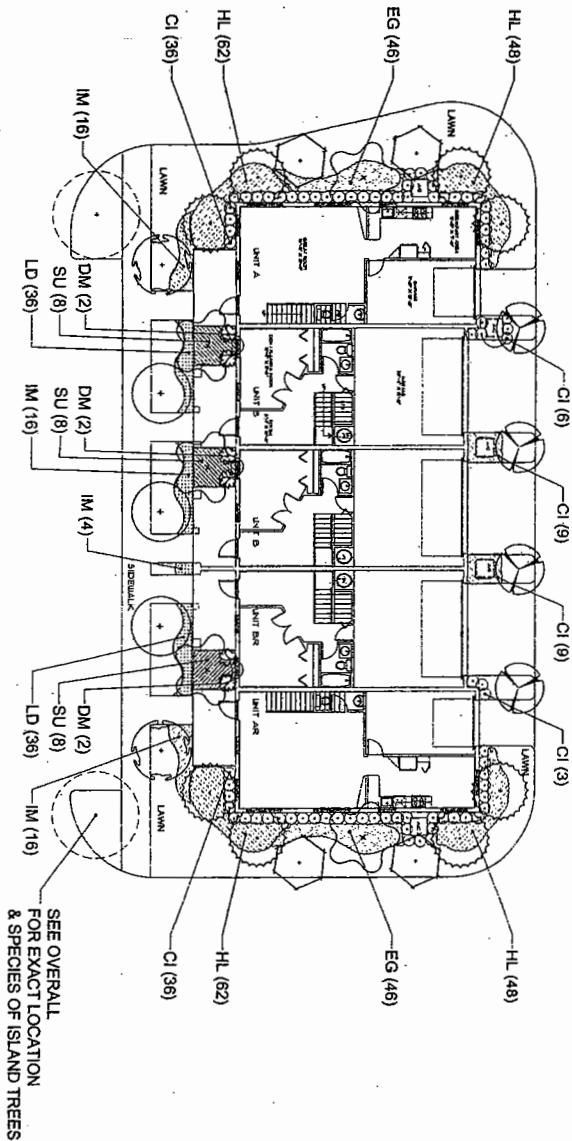
Palms of Coral Reef
Prepared for Landsea Development
Miami-Dade County, Florida
LANDSCAPE PLAN

WITKIN
DESIGN GROUP
1485 N.W. 10th Avenue
Suite 200
Miami, FL 33136
Tel: 305-586-8844
Fax: 305-586-8847

SCALE: 1/4" = 1'-0"
DATE: 1/14/85
DRAWN BY: [Signature]
CHECKED BY: [Signature]

PROJECT: LANDSCAPE PLAN
SHEET: L-2





* NOTE: TOWNHOMES FRONTING SW 152ND STREET
SHALL EXCLUDE THE GREEN BUTTOWOOD AND ORANGE GEIGER TREES.

TYPICAL 5-UNIT LANDSCAPE LIST

| Quantity | Symbol | Botanical / Common Name | Dimensions | Quantity | Symbol | Botanical / Common Name | Dimensions |
|----------|--------|-------------------------|----------------|----------|--------|-------------------------|-----------------|
| 4 | ⊗ | Chorizanthe acutifolia | 18" o.a. H. | 99 | CI | Chorizanthe acutifolia | 24" H. X 24" W. |
| 3 | ⊗ | Chorizanthe acutifolia | 12" H. X 6" W. | 6 | DM | Red-Edged Dracopis | 7' H. |
| 4 | ⊗ | Chorizanthe acutifolia | 12" H. X 6" W. | 92 | EG | Green Buttonwood | 1' H. |
| 2 | ⊗ | Chorizanthe acutifolia | 12" H. X 6" W. | 220 | HL | Orange Geiger Tree | 12' H. X 18" W. |
| 3 | ⊗ | Chorizanthe acutifolia | 12" H. X 6" W. | 52 | IM | Island Yellow Lantana | 1' H. |
| 8 | ⊗ | Chorizanthe acutifolia | 12" H. X 6" W. | 24 | SU | Small Palm | 3' H. |

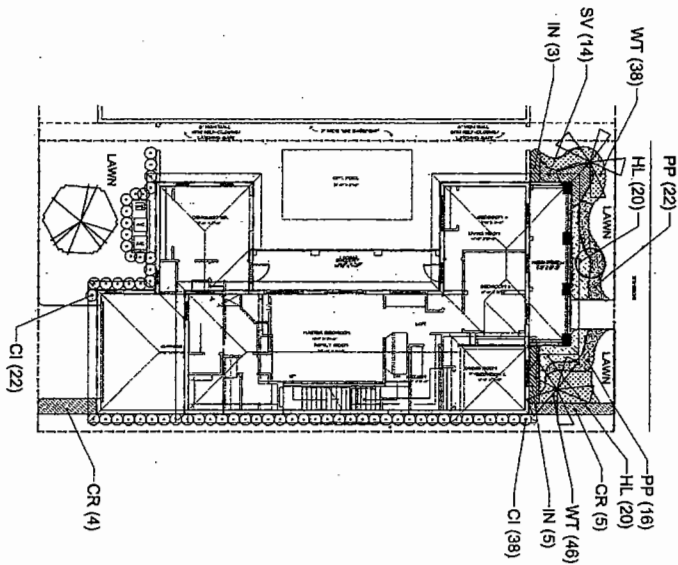
* Indicates Native Species

Palms of Coral Reef
Prepared for Landsea Development
Miami-Dade County, Florida
TYPICAL 5-UNIT TOWNHOUSE LANDSCAPE PLAN

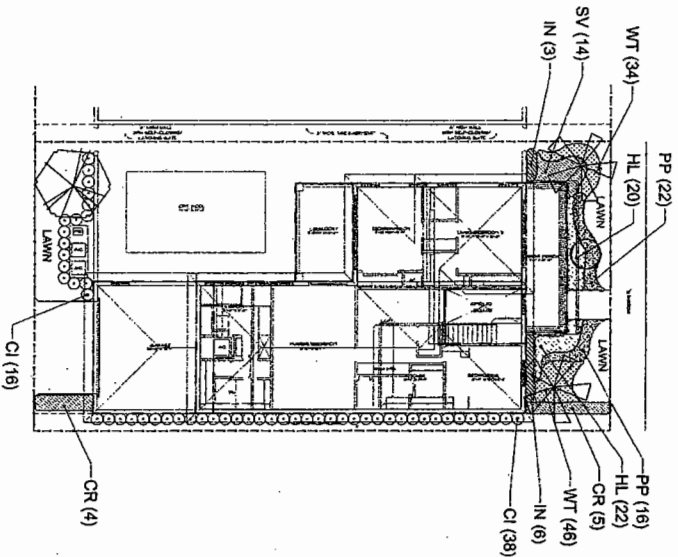
WITKIN
DESIGN GROUP
1400 S.W. 12th Ave.
Suite 202
Miami, FL 33135
Phone: 305-358-0887
Fax: 305-358-0887

7/14/05
[Signature]

DATE: 7/14/05
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: L-6



SINGLE FAMILY UNIT-A



SINGLE FAMILY UNIT-B

| QUANTITY | SYMBOL | DESCRIPTION | REMARKS |
|----------|--------|---------------------------|------------------------|
| 1 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 1 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 2 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |

* Indicates Native Species

| QUANTITY | SYMBOL | DESCRIPTION | REMARKS |
|----------|--------|-----------------------------|------------------------|
| 60 | CI | CR 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 9 | CR | CR 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 40 | HL | HL 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 8 | IN | IN 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 38 | PP | PP 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 14 | SV | SV 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 84 | WT | WT 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| AS | RECD | RECD 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |

| QUANTITY | SYMBOL | DESCRIPTION | REMARKS |
|----------|--------|---------------------------|------------------------|
| 2 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 1 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 1 | SW | SW 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |

* Indicates Native Species

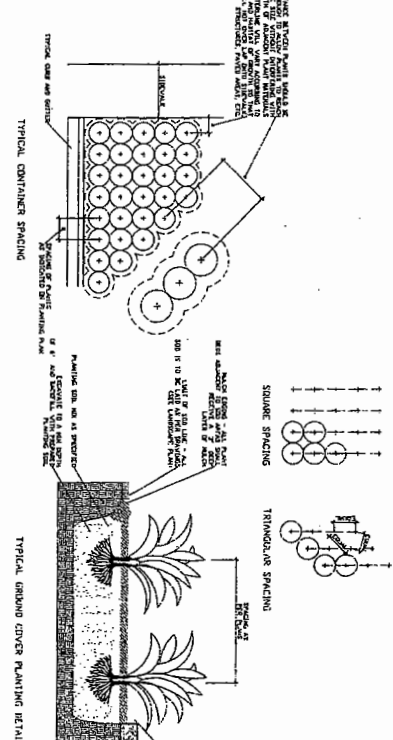
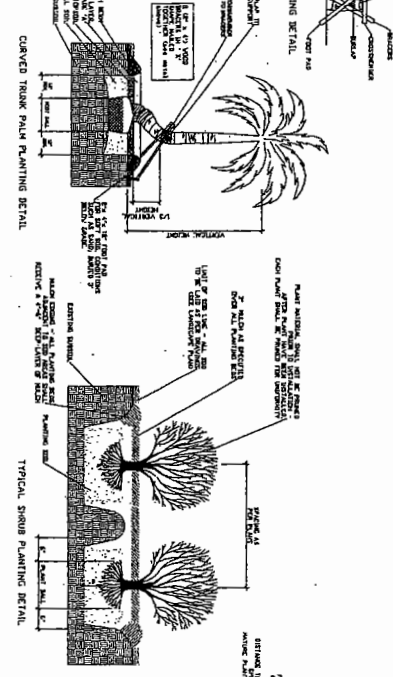
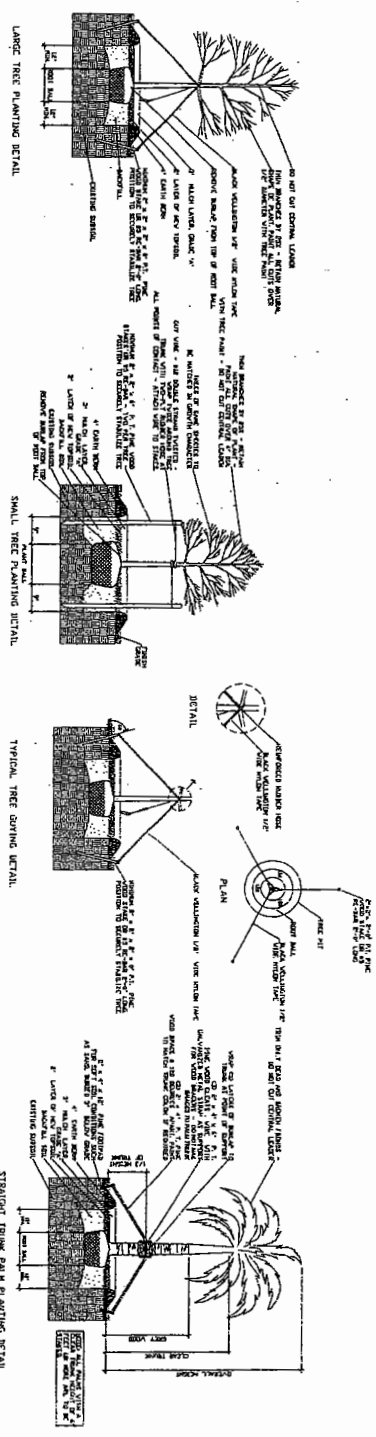
| QUANTITY | SYMBOL | DESCRIPTION | REMARKS |
|----------|--------|-----------------------------|------------------------|
| 54 | CI | CR 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 9 | CR | CR 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 42 | HL | HL 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 9 | IN | IN 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 38 | PP | PP 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 14 | SV | SV 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| 80 | WT | WT 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |
| AS | RECD | RECD 1/2" x 8" x 8" sq. ft. | 1/2" x 8" x 8" sq. ft. |

Palms of Coral Reef
 Prepared for Landsea Development
 Miami-Dade county, Florida
 TYPICAL SINGLE FAMILY LANDSCAPE PLANS

WITKIN
 DESIGN GROUP
 14800 N.W. 27th Ave.
 Suite 200
 Miami, FL 33187
 Tel: 305-555-0077
 Fax: 305-555-0077

SEAL:
 7/11/05
 [Signature]

DATE: 7/11/05
 DRAWING NO: L-7



GENERAL NOTES

1. All trees and shrubs shall be planted in accordance with the following specifications:

- All trees shall be planted in a hole at least 24 inches in diameter and 24 inches deep.
- All shrubs shall be planted in a hole at least 12 inches in diameter and 12 inches deep.
- All grasses shall be planted in a hole at least 12 inches in diameter and 12 inches deep.
- All trees and shrubs shall be planted in a hole at least 24 inches in diameter and 24 inches deep.
- All grasses shall be planted in a hole at least 12 inches in diameter and 12 inches deep.

2. All trees and shrubs shall be planted in a hole at least 24 inches in diameter and 24 inches deep.

3. All grasses shall be planted in a hole at least 12 inches in diameter and 12 inches deep.

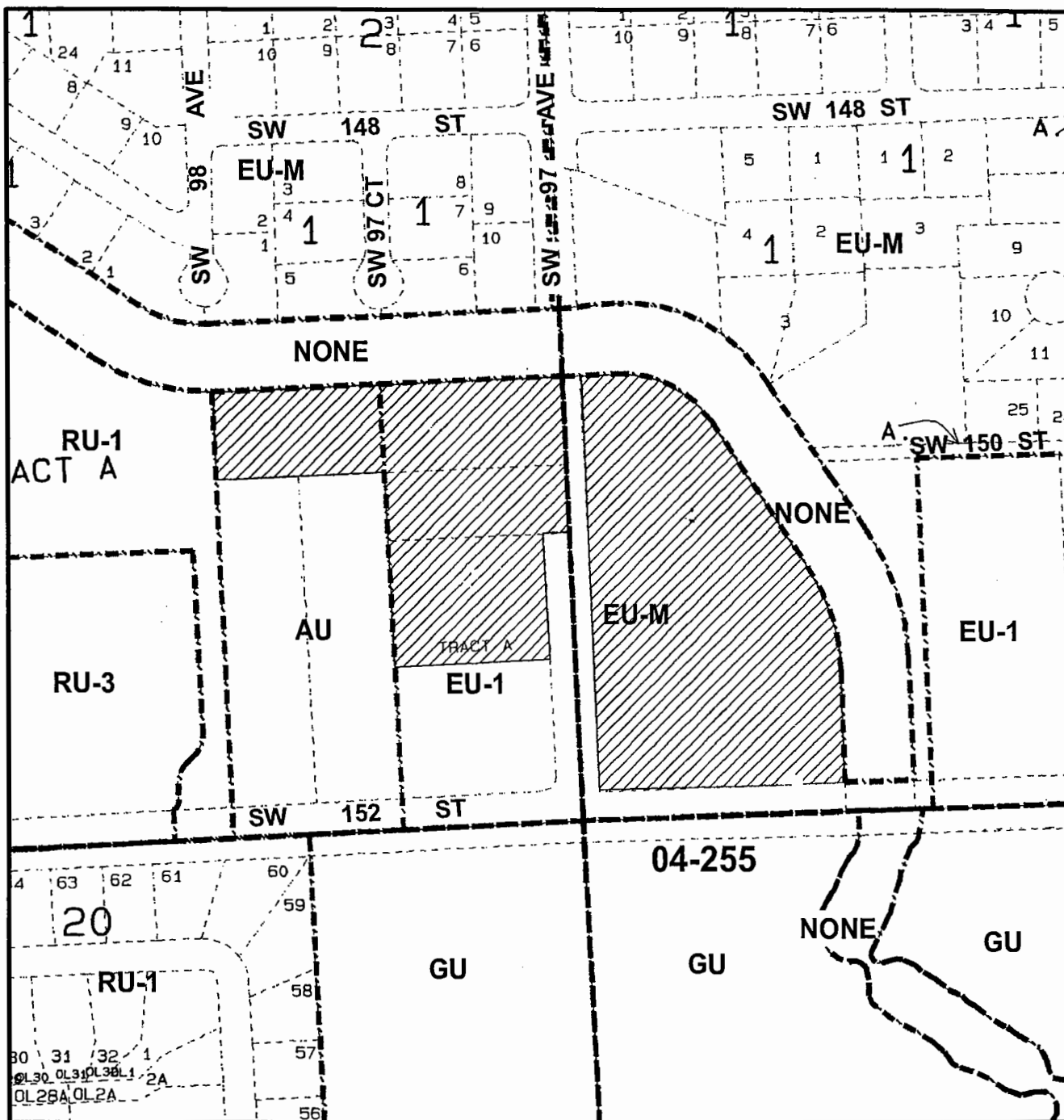
4. All trees and shrubs shall be planted in a hole at least 24 inches in diameter and 24 inches deep.

5. All grasses shall be planted in a hole at least 12 inches in diameter and 12 inches deep.

Palms of Coral Reef
 Prepared for Landsea Development
 Miami-Dade County, Florida
 LANDSCAPE DETAILS

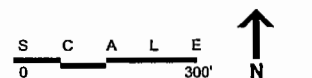
WITKIN DESIGN GROUP
 LANDSCAPE ARCHITECTS
 1111 N. W. 10th Ave.
 Suite 100
 Miami, FL 33136
 Phone: 305-375-1111
 Fax: 305-375-1112

DATE: 10/1/88
SCALE: 1/8" = 1'-0"



MIAMI-DADE COUNTY HEARING MAP

Section: 20,21 Township: 55 Range: 40
 Process Number: 04-255
 Applicant: IRWIN POTASH ET AL
 District Number: 08
 Zoning Board: C14
 Drafter: ALFREDO
 Scale: 1:300'



SUBJECT PROPERTY





**MIAMI-DADE COUNTY
AERIAL**

**Section: 20,21 Township: 55 Range: 40
Process Number: 04-255
Applicant: IRWIN POTASH ET AL
District Number: 08
Zoning Board: C14
Drafter: ALFREDO
Scale: NTS**

